



VICINITY MAP

PROJECT TEAM INFO

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PROJECT INFORMATION

Campbell Technology Park

Campbell, CA

1/16/2023

Site Area:

17.28 ± acres (Gross)

17.10 ± acres (Net)

FAR:

0.85 (See Sheet A1.1.0-A1.1.7 for FAR Gross Floor Areas)

Building Lot Coverage:

± 36% (See Sheet A1.4.0 for Building Lot Coverage calculations)

UNIT COUNT & GROSS SQUARE FOOTAGE SUMMARY

Typology	Building Type	# Buildings	DU/Building	# Total DU	Building Gross SF*	Total Building Gross SF
3-Story Townhouse	3-Plex	3	3 DU	9 DU	8,303 SF	24,909 SF
	4-Plex	2	4 DU	8 DU	10,887 SF	21,774 SF
	5-Plex	11	5 DU	55 DU	13,239 SF	145,629 SF
	6-Plex	7	6 DU	42 DU	15,823 SF	110,761 SF
	7-Plex	5	7 DU	35 DU	18,407 SF	92,035 SF
Subtotal				149 DU		395,108 SF
4-Story Condominium	6-Plex	3	6 DU	18 DU	15,462 SF	46,386 SF
	8-Plex	12	8 DU	96 DU	20,309 SF	243,798 SF
Subtotal				114 DU		290,094 SF
Single Family Detached	Plan 1	7	1 DU	7 DU	2,505 SF	17,535 SF
	Plan 2	10	1 DU	10 DU	2,588 SF	25,880 SF
	Plan 3	4	1 DU	4 DU	2,772 SF	11,088 SF
	Plan 3X	6	1 DU	6 DU	2,772 SF	16,632 SF
Subtotal				27 DU		54,503 SF
CURRENT 1/16/2024	TOTAL			290 DU		739,705 SF
PREVIOUS 4/17/2023	TOTAL			334 DU		793,336 SF
SB330 Submittal	TOTAL			290 DU		739,705 SF
SB330 Prelim.	TOTAL			334 DU		793,336 SF

*As per Campbell Municipal Code, "Floor area, gross means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors." GSF includes stairway on all floors, covered garages, covered decks, exclude roof decks and porches

UNIT SIZE, BEDROOM COUNT SUMMARY

3 STORY TOWNHOUSE (Building height +/- 44'-0")						
Unit Name	Description	Garage	Approx. Net SF**	Total DU	%	Total Net SF
Plan 1	3bd/3.5ba	Side x Side	1,733 SF	51 DU	18%	88,383 SF
Plan 2	3bd/3.5ba	Side x Side	1,871 SF	42 DU	14%	78,582 SF
Plan 3	4bd/3.5ba	Side x Side	2,144 SF	28 DU	10%	60,032 SF
Plan 3X	3bd/2.5ba/ADU	Side x Side	2,124 SF	28 DU	10%	59,672 SF
Subtotal				149 DU	52%	286,669 SF
Average Unit Size:				1,920 SF		

4 STORY CONDOMINIUM (Building height +/- 47'-0")						
Unit Name	Description	Garage	Approx. Net SF**	Total DU	%	Total Net SF
Plan 1	2bd/2ba	Tandem	1,283 SF	27 DU	9%	34,641 SF
Plan 2	3bd/3ba	Tandem	1,939 SF	27 DU	9%	52,353 SF
Plan 3	3bd/3ba	Tandem	1,575 SF	30 DU	10%	47,250 SF
Plan 4	3bd/3ba	Side x Side	2,063 SF	30 DU	10%	61,890 SF
Subtotal				114 DU	39%	196,134 SF
Average Unit Size:				1,720 SF		

SINGLE FAMILY DETACHED (Building height +/- 31'-0")						
Unit Name	Description	Garage	Approx. Gross SF***	Total DU	%	Total Gross SF
Plan 1	4bd/2.5ba	Side x Side	2,012 SF	7 DU	2%	14,084 SF
Plan 2	4bd/3ba	Side x Side	2,104 SF	10 DU	3%	21,040 SF
Plan 3	4bd/3ba	Side x Side	2,295 SF	4 DU	1%	9,180 SF
Plan 3X	3bd/2ba/ADU	Side x Side	2,295 SF	6 DU	2%	13,770 SF
Subtotal				27 DU	9%	58,074 SF
Average Unit Size:				2,150 SF		

**Measured to the interior stud of the wall excluding covered garages, covered decks, roof decks,

***Measured to the exterior stud of the wall excluding covered garages, covered decks, roof decks,

Density:	16.78 du/gross ac
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PARKING SUMMARY

Parking Provided			
Residential In-Garage	580 spaces		
In-tract Parking	138 spaces		
Project Total	718 spaces	2.48 ratio	
In-tract Parking Use Summary	7 Accessible spaces	min. 5% of In-tract	
	14 Electric Vehicle Capable (EC)		
	35 Electric Vehicle Ready (ER)		
	7 Electric Vehicle Charger (EV)		

CAMPBELL TECHNOLOGY PARK

Campbell, CA

SCOPE OF WORK

The project includes a Vesting Tentative Tract Map (VTTM) for development and a site and architectural review permit to accommodate the proposed project.

The proposed project consists of the development of 290 residential units. The proposed development would consist of 2-story single family detached homes (27 units), 3-story townhomes (149 units) and 4-story condominiums (114 units). Each unit would have a private two-car garage. Balconies and decks would provide private outdoor space for each unit.

Pursuant to Government Code section 65589.5(d), the project would provide 20% of the units for low-income households as required by the "Builder's Remedy" of the Housing Accountability Act (Government Code section 65589.5(d)).

The project site is located within a half-mile of a major transit stop, and therefore cannot be subject to any minimum automobile parking requirements pursuant to Government Code section 65863.2. Nevertheless, a total of 718 parking would be provided to accommodate the proposed residential development. Of these, 580 parking spaces would be residential in-garage spaces and 138 would be guest parking dispersed throughout the site.

The hours of operation, as with any residential development, are 24 hours per day, seven days a week.

SITE ADDRESS: 635,655,675,695 CAMPBELL TECHNOLOGY PARKWAY

ACCESSORY PARCEL NO.: 412-29-010, 412-20-011, 412-29-012, 412-29-015

ZONING DISTRICT: HD-MU (High Density Mixed-Use) & P-D (Planned Development)

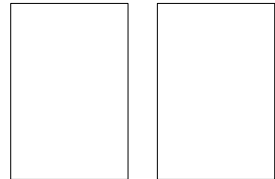
LANDSCAPE AREA / LOW WATER USE HYDROZONE: 131,552 SQ.FT

HARDSCAPE AREA EXCLUDING DRIVEWAYS: 96,437 SQ.FT

DRIVEWAY AREAS/ AC PAVING: 233, 983 SQ.FT

FIRE SPRINKLER SYSTEM:

Single Family Detached: NFPA 13D
3 Story Townhouse: NFPA 13D
4 Story Condominium: NFPA 13



APPROVAL STAMP



Campbell
Technology
Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

COVER SHEET

0.0.0

0.0.0 COVER SHEET
0.0.1 SHEET INDEX

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A 2-2.2.0 3 STORY TOWNHOUSE - 5 PLEX - STYLE 1_ELEVATIONS
A 2-2.2.1 3 STORY TOWNHOUSE - 5 PLEX - STYLE 1_ELEVATIONS
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A 2-2.3.0 3 STORY TOWNHOUSE - 6 PLEX - STYLE 1_ELEVATIONS
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A 2-2.3.3 3 STORY TOWNHOUSE - 6 PLEX - STYLE 2_ELEVATIONS
A 2-2.4.0 3 STORY TOWNHOUSE - 7 PLEX - STYLE 1_ELEVATIONS
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A 2-3.1.0 3 STORY TOWNHOUSE - 4 PLEX_BUILDING PLANS
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A 2-3.2.0 3 STORY TOWNHOUSE - 5 PLEX_BUILDING PLANS
A 2-3.2.1 3 STORY TOWNHOUSE - 5 PLEX_BUILDING PLANS
A 2-3.3.0 3 STORY TOWNHOUSE - 6 PLEX_BUILDING PLANS
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A 3-2.0.0 4 STORY CONDOMINIUMS - 6 PLEX - STYLE 1_ELEVATIONS
A 3-2.0.1 4 STORY CONDOMINIUMS - 6 PLEX - STYLE 1_ELEVATIONS
A 3-2.0.2 4 STORY CONDOMINIUMS - 6 PLEX - STYLE 2_ELEVATIONS
A 3-2.0.3 4 STORY CONDOMINIUMS - 6 PLEX - STYLE 2_ELEVATIONS
A 3-2.1.0 4 STORY CONDOMINIUMS - 8 PLEX - STYLE 1_ELEVATIONS
A 3-2.1.1 4 STORY CONDOMINIUMS - 8 PLEX - STYLE 1_ELEVATIONS
A 3-2.1.2 4 STORY CONDOMINIUMS - 8 PLEX - STYLE 2_ELEVATIONS
A 3-2.1.3 4 STORY CONDOMINIUMS - 8 PLEX - STYLE 2_ELEVATIONS
A 3-3.0.0 4 STORY CONDOMINIUMS - 6 PLEX_BUILDING PLANS
A 3-3.0.1 4 STORY CONDOMINIUMS - 6 PLEX_BUILDING PLANS
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A 3-3.1.1 4 STORY CONDOMINIUMS - 8 PLEX_BUILDING PLANS
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A 3-5.0.0 4 STORY CONDOMINIUMS - PLAN 1-2_UNIT PLANS
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L 4.3 LANDSCAPE ENLARGEMENT
L 4.4 LANDSCAPE ENLARGEMENT
L 4.5 LANDSCAPE ENLARGEMENT
L 4.6 LANDSCAPE ENLARGEMENT
L 4.7 LANDSCAPE ENLARGEMENT
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L 6.1 PHOTOMETRIC PLAN
L 6.2 PHOTOMETRIC PLAN



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Campbell Technology Park

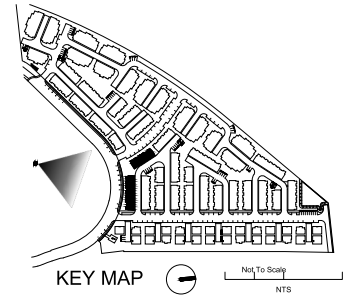
Campbell, CA # 2023-0039

DESIGN REVIEW

JANUARY 16, 2024

SHEET INDEX

0.0.1



1: 3 STORY TOWNHOUSES



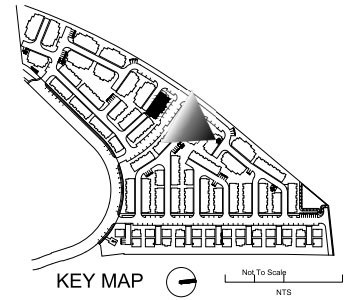
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STREET PERSPECTIVE

A 0.1.0



2: 4 STORY CONDOMINIUMS



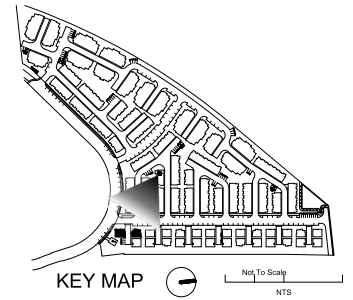
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STREET PERSPECTIVE

A 0.1.1



3: SINGLE FAMILY DETACHED



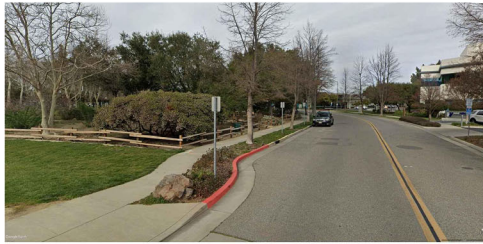
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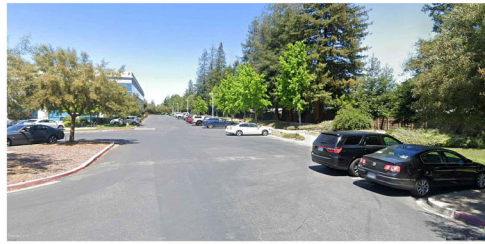
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STREET PERSPECTIVE

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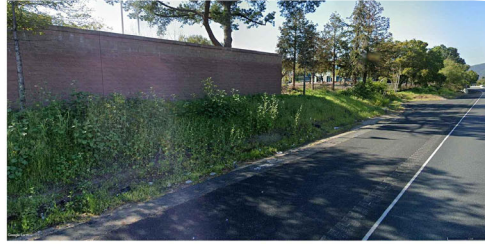
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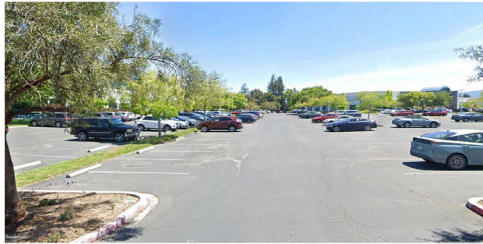
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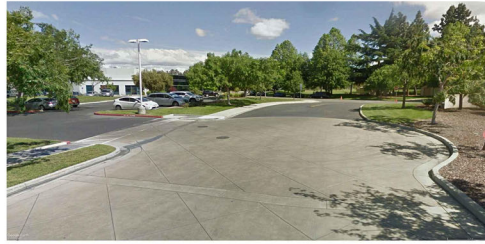
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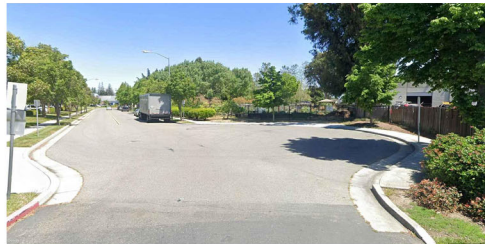
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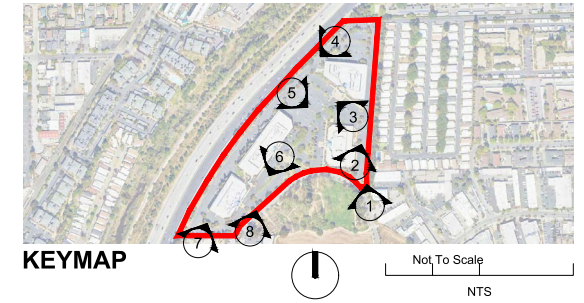
6.



7.



8.





4 STORY CONDOMINIUMS (4S)

- Style - 1
- Style - 2

3 STORY TOWNHOUSES (3S TH)

- Style - 1
- Style - 2

SINGLE FAMILY DETACHED HOMES (SFD)

- Plan 1_Style- 1
- Plan 1_Style- 2
- Plan 1_Style- 3
- Plan 2_Style- 1
- Plan 2_Style- 2
- Plan 2_Style- 3
- Plan 3_Style- 1
[Incorporates an optional ADU]
- Plan 3_Style- 2
[Incorporates an optional ADU]
- Plan 3_Style- 3
[Incorporates an optional ADU]

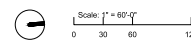
Notes :
1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit location, etc.
2. Refer to Landscape Sheets for landscape design, dimensions and detailed information.



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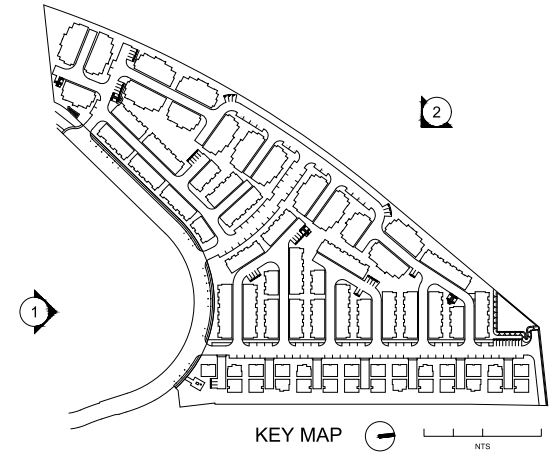


ARCHITECTURAL SITE PLAN
STYLISTIC/ COLOR DIAGRAM

A 1.0.1



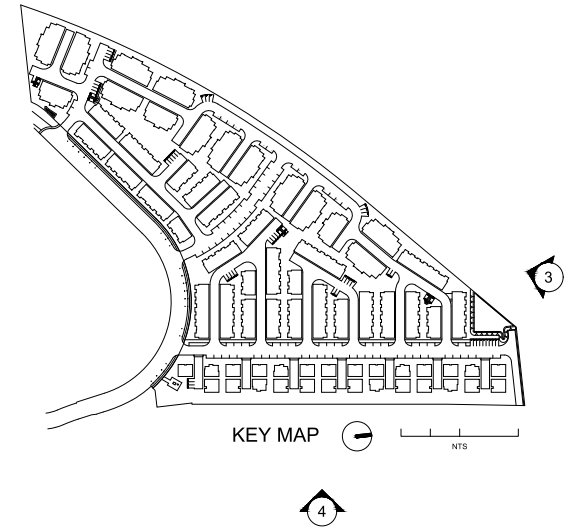
1. ISOMETRIC VIEW



2. ISOMETRIC VIEW



3. ISOMETRIC VIEW



4. ISOMETRIC VIEW



Below market Rate Unit

OVERALL UNIT SUMMARY

	Number of Units	%
Single Family Detached	27	9%
3 Story Townhouse	149	51%
4 Story Condominium	114	39%
	290	100%

DETAILED BMR UNIT SUMMARY

	Area SF	Bed/Bath	Garage	BMR Units
Single Family Detached				
Plan 1	2,012	4bd/2.5ba	side x side	1
Plan 2	2,104	4bd/3ba	side x side	2
Plan 3	2,295	4bd/3ba	side x side	1
Plan 3X	2,295	3bd/2ba/ADU	side x side	1
3 Story Townhouse				
Plan 1	1,733	3bd/3.5ba	side x side	11
Plan 2	1,871	3bd/3.5ba	side x side	7
Plan 3	2,144	4bd/3.5ba	side x side	12
Plan 3X	2,124	3bd/2.5ba/ADU	side x side	0
4 Story Condominium				
Plan 1	1,283	2bd/2ba	tandem	6
Plan 2	1,939	3bd/3ba	tandem	5
Plan 3	1,575	3bd/3ba	tandem	6
Plan 4	2,063	3bd/3ba	side x side	6
Total Units				58

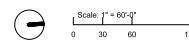
Note : Below Market rate units identified are for lower income households, as defined in Section 50079.5 of the Health and Safety Code.



Campbell Technology Park LLC

Campbell Technology Park
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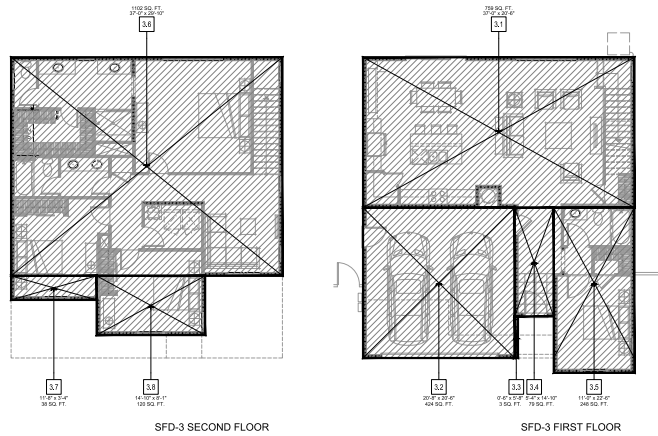
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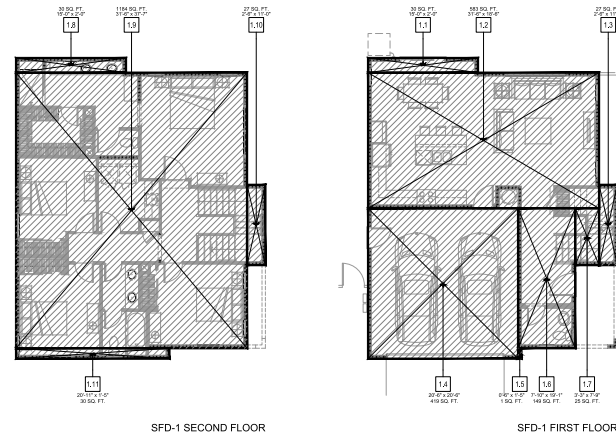
BELOW MARKET RATE HOUSING PLAN

A 1.0.5

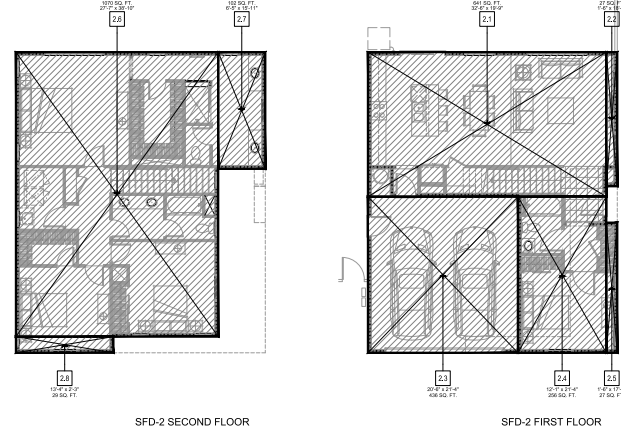
PLAN 3



PLAN 1

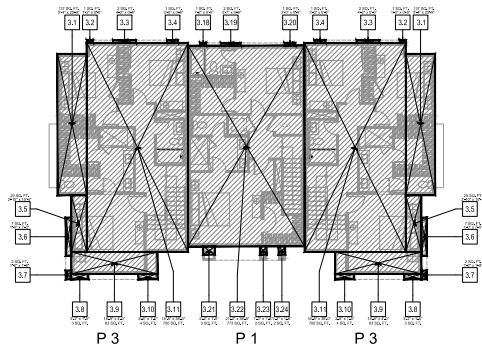


PLAN 2



SFD-GROSS FLOOR AREA FOR FAR					
PLAN NO.	SPACE NO.	AREA		FLOOR LEVEL	
		LENGTH FT.-IN.	WIDTH FT.-IN.		
PLAN 1	1.1	15'0"	2'0"	30	1
	1.2	31'6"	38'6"	583	1
	1.3	2'6"	11'0"	27	1
	1.4	20'0"	20'6"	410	1
	1.5	6"	1'5"	1	1
	1.6	7'10"	19'1"	149	1
	1.7	3'3"	7'9"	25	1
	1.8	15'0"	2'0"	30	2
	1.9	31'6"	37'7"	1,184	2
	1.10	7'6"	11'0"	27	2
	1.11	20'11"	1'5"	30	2
TOTAL				2,505	
PLAN NO.	SPACE NO.	AREA		FLOOR LEVEL	
		LENGTH FT.-IN.	WIDTH FT.-IN.		
PLAN 2	2.1	32'6"	19'9"	641	1
	2.2	1'6"	38'4"	27	1
	2.3	20'6"	21'4"	436	1
	2.4	12'1"	21'4"	256	1
	2.5	1'0"	17'9"	27	1
	2.6	27'7"	38'10"	1,070	2
	2.7	6'5"	15'11"	102	2
	2.8	15'4"	2'3"	29	2
TOTAL				2,588	
PLAN NO.	SPACE NO.	AREA		FLOOR LEVEL	
		LENGTH FT.-IN.	WIDTH FT.-IN.		
PLAN 3	3.1	37'0"	2'0"	750	1
	3.2	20'8"	20'6"	424	1
	3.3	6"	5'8"	3	1
	3.4	5'4"	14'10"	79	1
	3.5	11'0"	22'6"	246	1
	3.6	37'0"	25'10"	1,102	2
	3.7	11'8"	3'4"	38	2
	3.8	14'10"	8'1"	120	2
TOTAL				2,773	
FAR LEGEND					
		Areas included in Gross Floor Area			
		Areas Excluded from FAR calculations per Campbell Municipal Code Definitions F. from Code Amendments: Title 6-7-20 and Z1			
		"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below-grade parking, non residential or multi-family building area devoted to structured or covered parking (i.e., parking garage, or ancillary utility rooms or elevators serving the parking garage), trash enclosures, unenclosed accessory structures (e.g., trellis), bay windows and covered porches, unenclosed accessory structures (e.g., trellis) and covered porches.			
Note:		"Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.			

THIRD FLOOR

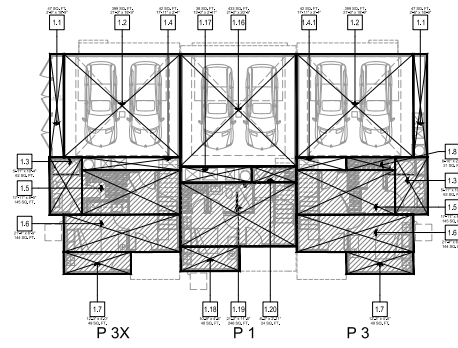


ROOF

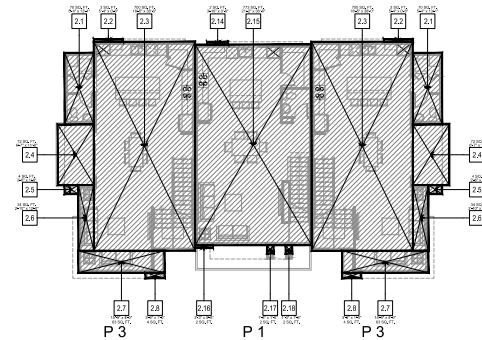
FAR LEGEND	
	Areas included in Gross Floor Area
	Areas excluded from FAR calculations per Campbell Municipal Cod Definitions F, from Code Amendments-Title 6-7-20 and 21
"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below-grade parking, non residential or multi-family building area devoted to structured or covered parking (i.e., parking garage, or ancillary utility rooms or elevators serving the parking garage), trash enclosures, unenclosed accessory structures (e.g., trellis), bay windows and covered porches, unenclosed accessory structures (e.g., trellis) and covered porches.	
Note: "Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.	

UNIT	SPACE NO.	LEVEL 1 AREA EXCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		FT.-IN.	FT.-IN.	SQ. FT.		
3	1.1	2'6"	25'9"	64		
3	1.2	21'3"	18'7"	394		
3	1.3	4'6"	7'2"	32		
3	1.4	30'10"	1'11"	21		
2	1.9	21'2"	20'4"	429		
2	1.16	10'6"	6'2"	65		
2	1.11	2'11"	3'6"	10		
				504	0	0
1	1.16	21'2"	20'6"	433		
1	1.17	13'0"	2'11"	38		
				471	1	471
TOTAL				1,486		1,486

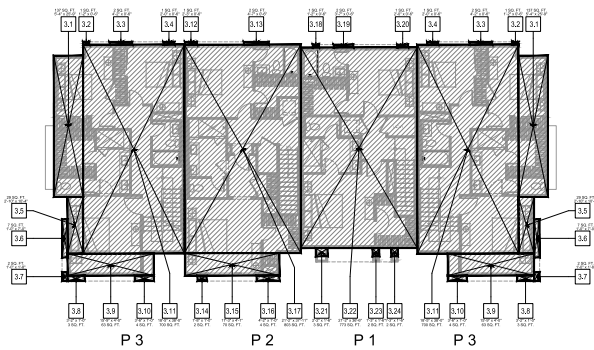
FIRST FLOOR



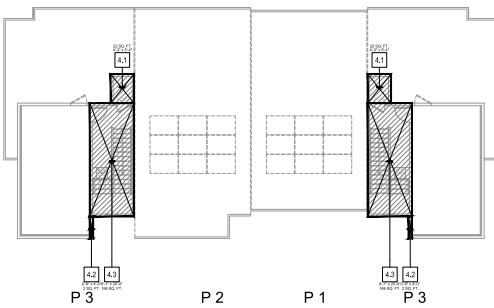
SECOND FLOOR



TH-3-PLEX GROSS FLOOR AREA FOR FAR						
UNIT	SPACE NO.	LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		FT.-IN.	FT.-IN.	SQ. FT.		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	1.3	5'11"	10'4"	62		
3	1.5	17'11"	8'0"	145		
3	1.6	21'4"	6'9"	144		
3	1.7	12'3"	4'0"	49		
3	1.8	8'10"	2'4"	21		
				421	1	421
3X	1.3	5'11"	10'4"	62		
3X	1.5	17'11"	8'0"	145		
3X	1.6	21'4"	6'9"	144		
3X	1.7	12'3"	4'0"	49		
				400	1	400
2	1.13	12'6"	3'2"	40		
2	1.14	21'2"	15'6"	328		
				368	0	0
1	1.18	10'9"	4'6"	48		
1	1.19	21'2"	11'8"	246		
1	1.20	8'2"	2'11"	24		
				318	1	318
TOTAL						1139
UNIT	SPACE NO.	LEVEL 2 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		FT.-IN.	FT.-IN.	SQ. FT.		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	2.1	5'4"	13'1"	70		
3	2.2	5'4"	0'6"	8		
3	2.3	18'5"	38'0"	700		
3	2.4	6'7"	11'0"	72		
3	2.5	2'6"	1'8"	4		
3	2.6	2'10"	12'0"	34		
3	2.7	15'9"	4'0"	63		
3	2.8	3'6"	1'0"	4		
				950	2	1900
2	2.9	15'4"	6'6"	100		
2	2.10	21'2"	31'11"	676		
2	2.11	5'10"	6'0"	35		
2	2.12	17'3"	4'1"	70		
2	2.13	4'2"	1'0"	4		
				885	0	0
1	2.14	3'10"	0'6"	2		
1	2.15	21'2"	36'6"	773		
1	2.16	3'3"	0'0"	2		
1	2.17	1'3"	1'6"	2		
1	2.18	1'3"	1'6"	2		
				781	1	781
TOTAL						2683
UNIT	SPACE NO.	LEVEL 3 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		FT.-IN.	FT.-IN.	SQ. FT.		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	3.1	5'4"	25'9"	137		
3	3.2	12"	0'6"	1		
3	3.3	4'2"	0'6"	2		
3	3.4	2'0"	0'0"	1		
3	3.5	2'10"	10'4"	29		
3	3.6	1'0"	7'0"	7		
3	3.7	1'0"	1'8"	2		
3	3.8	3'2"	1'0"	3		
3	3.9	15'9"	4'0"	63		
3	3.10	3'6"	1'0"	4		
3	3.11	18'5"	38'0"	700		
				949	2	1898
2	3.12	2'3"	0'6"	1		
2	3.13	4'7"	0'6"	2		
2	3.14	1'8"	1'0"	2		
2	3.15	17'3"	4'1"	70		
2	3.16	4'2"	1'0"	4		
2	3.17	21'2"	37'11"	803		
				885	0	0
1	3.18	1'2"	0'6"	1		
1	3.19	3'7"	0'6"	2		
1	3.20	2'0"	0'6"	1		
1	3.21	2'2"	1'6"	3		
1	3.22	21'2"	36'6"	773		
1	3.23	1'3"	1'6"	2		
1	3.24	1'3"	1'6"	2		
				784	1	784
TOTAL						2682
UNIT	SPACE NO.	ROOF INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		FT.-IN.	FT.-IN.	SQ. FT.		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	4.1	4'3"	5'4"	22		
3	4.2	0'0"	4'0"	2		
3	4.3	8'1"	20'8"	166		
				190	2	380
TOTAL						380
TOWNHOME 3-PLEX TOTAL GROSS FLOOR AREA						6,882



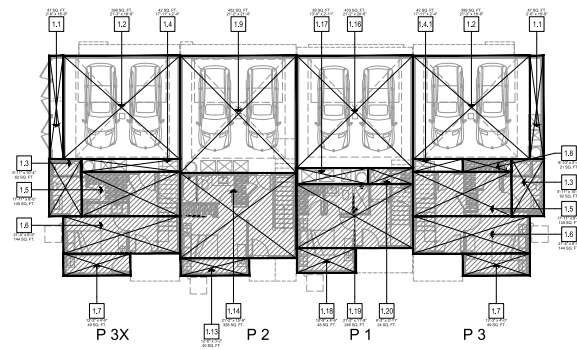
THIRD FLOOR



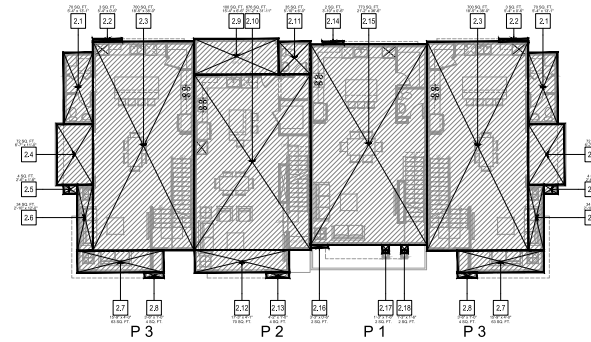
ROOF

FAR LEGEND	
	Areas included in Gross Floor Area
	Areas Excluded from FAR calculations per Campbell Municipal Cod Definitions F, from Code Amendments Title 6-7-20 and 21
"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below grade parking, non residential or multi-family building area devoted to structured or covered parking (i.e., parking garage, or ancillary utility rooms or elevators serving the parking garage), track enclosures, unenclosed accessory structures (e.g., trellis), bay windows and covered porches, unenclosed accessory structures (e.g., trellis) and covered porches.	
Note: "Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.	

		LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
UNIT	SPACE NO.	LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	1.1	26"	25'9"	64		
3	1.2	21'3"	18'9"	394		
3	1.3	4'0"	7'3"	32		
3	1.4	30'10"	1'11"	21		
				511	2	1022
2	1.9	21'2"	20'4"	429		
2	1.30	30'6"	6'2"	65		
2	1.11	2'11"	3'6"	10		
				504	1	504
1	1.16	21'2"	20'6"	433		
1	1.17	13'0"	2'11"	36		
				471	1	471
TOTAL				1,486		1997



FIRST FLOOR



SECOND FLOOR

TH-4-PLEX GROSS FLOOR AREA FOR FAR							
UNIT	SPACE NO.	LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE	
		LENGTH	WIDTH	AREA			
		FT.-IN.	FT.-IN.	SQ. FT.			
3	1.3	5'11"	10'4"	62			
3	1.5	17'11"	8'0"	145			
3	1.6	21'4"	6'9"	144			
3	1.7	12'3"	4'0"	49			
3	1.8	8'10"	2'4"	21			
3X	1.3	5'11"	10'4"	62	1	421	
3X	1.5	17'11"	8'0"	145			
3X	1.6	21'4"	6'9"	144			
3X	1.7	12'3"	4'0"	49	1		
				400			400
2	1.13	12'6"	3'2"	40			
2	1.14	21'2"	15'6"	328			
				400			
				368	1	368	
1	1.15	21'2"	11'8"	246			
1	1.20	8'2"	2'11"	24			
				318	1	318	
TOTAL							1507
UNIT	SPACE NO.	LEVEL 2 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE	
		LENGTH	WIDTH	AREA			
		FT.-IN.	FT.-IN.	SQ. FT.			
3	2.1	5'4"	13'1"	70			
3	2.2	9'4"	0'6"	3			
3	2.3	18'5"	38'0"	700			
3	2.4	6'7"	11'0"	72			
3	2.5	2'6"	1'8"	4			
3	2.6	2'10"	12'0"	34			
3	2.7	15'9"	4'0"	63			
3	2.8	3'6"	1'0"	4			
				950	2	1900	
2	2.9	15'4"	6'0"	100			
2	2.10	21'2"	33'11"	676			
2	2.11	5'10"	6'0"	35			
2	2.12	17'3"	4'1"	70			
2	2.13	4'2"	1'0"	4			
				885	1	885	
1	2.14	3'10"	0'6"	2			
1	2.15	21'2"	36'6"	773			
1	2.16	3'3"	0'6"	2			
1	2.17	1'3"	1'6"	2			
1	2.18	1'3"	1'6"	2			
				781	1	781	
TOTAL							3566
UNIT	SPACE NO.	LEVEL 3 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE	
		LENGTH	WIDTH	AREA			
		FT.-IN.	FT.-IN.	SQ. FT.			
3	3.1	5'4"	25'9"	137			
3	3.2	1'2"	0'6"	1			
3	3.3	4'2"	0'6"	2			
3	3.4	2'0"	0'6"	1			
3	3.5	21'0"	10'4"	219			
3	3.6	1'0"	7'0"	7			
3	3.7	1'0"	1'8"	2			
3	3.8	3'2"	1'0"	3			
3	3.9	15'9"	4'0"	63			
3	3.10	3'6"	1'0"	4			
3	3.11	18'5"	38'0"	700			
				949	2	1898	
2	3.12	2'3"	0'6"	1			
2	3.13	4'7"	0'6"	2			
2	3.14	1'8"	1'0"	2			
2	3.15	17'3"	4'1"	70			
2	3.16	4'2"	1'0"	4			
2	3.17	21'2"	37'11"	803			
				882	1	882	
1	3.18	1'2"	0'6"	1			
1	3.19	3'7"	0'6"	2			
1	3.20	2'0"	0'6"	1			
1	3.21	2'2"	1'6"	3			
1	3.22	21'2"	36'6"	773			
1	3.23	1'3"	1'6"	2			
1	3.24	1'3"	1'6"	2			
				784	1	784	
TOTAL							3566
UNIT	SPACE NO.	ROOF INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE	
		LENGTH	WIDTH	AREA			
		FT.-IN.	FT.-IN.	SQ. FT.			
3	4.1	4'3"	5'4"	22			
3	4.2	0'8"	4'0"	2			
3	4.3	8'1"	20'8"	166			
				190	2	380	
TOTAL							380
TOWNHOME 4-PLEX TOTAL GROSS FLOOR AREA							
9,017							



Campbell Technology Park LLC

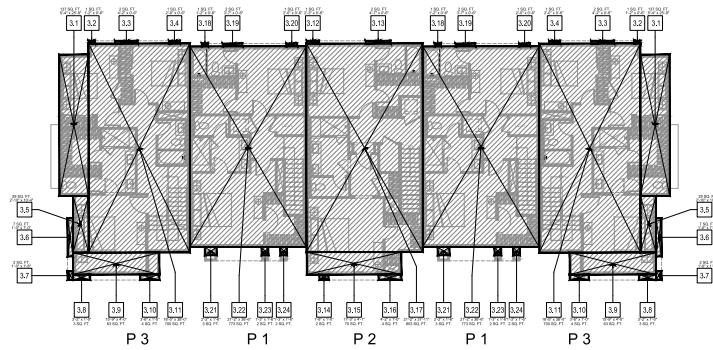
Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

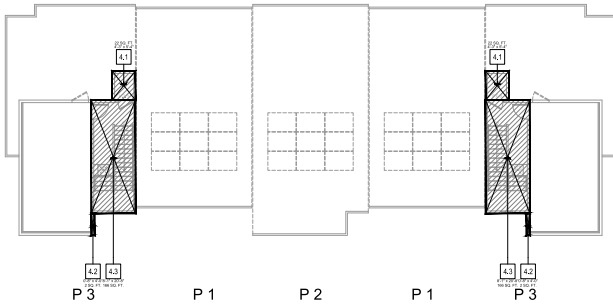


TH-4-PLEX- FAR GROSS FLOOR AREAS
3-STORY TOWNHOUSE

A 1.1.2



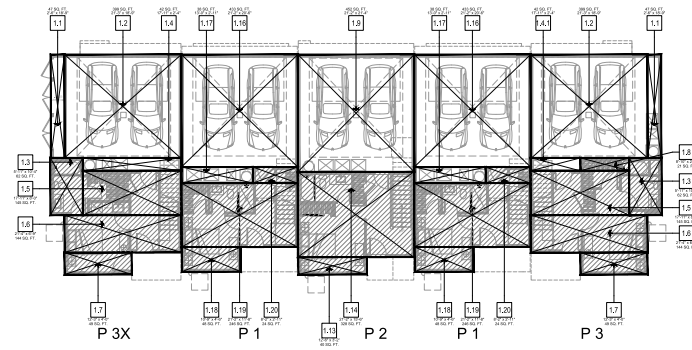
THIRD FLOOR



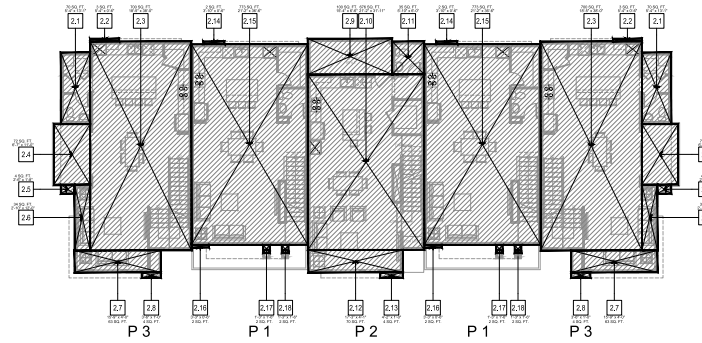
ROOF

FAR LEGEND	
	Areas included in Gross Floor Area
	Areas Excluded from FAR calculations per Campbell Municipal Cod Definitions F, from Code Amendments-Title 6-7-30 and 21
"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below-grade parking, non residential or multi-family building area devoted to structured or covered parking (i.e., parking garage, or ancillary utility rooms or elevators serving the parking garage), trash enclosures, unenclosed accessory structures (e.g., trellis), bay windows and covered porches, unenclosed accessory structures (e.g., trellis) and covered porches.	
Note: "Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.	

UNIT	SPACE NO.	LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	1.1	2'6"	25'9"	64		
3	1.2	21'3"	18'7"	394		
3	1.3	4'5"	7'2"	32		
3	1.4	30'10"	1'11"	21		
				511	2	1022
2	1.5	21'2"	20'4"	429		
2	1.10	10'6"	6'2"	65		
2	1.11	2'11"	3'6"	10		
				504	1	504
1	1.16	21'2"	20'6"	433		
1	1.17	13'0"	2'11"	36		
				471	2	942
TOTAL				1,486		2468



FIRST FLOOR



SECOND FLOOR

TH-5-PLEX GROSS FLOOR AREA FOR FAR						
UNIT	SPACE NO.	LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	1.3	5'11"	10'4"	62		
3	1.5	17'11"	8'0"	145		
3	1.6	21'4"	6'9"	144		
3	1.7	12'3"	4'0"	49		
3	1.8	8'10"	2'4"	21		
				421	1	421
3X	1.3	5'11"	10'4"	62		
3X	1.5	17'11"	8'0"	145		
3X	1.6	21'4"	6'9"	144		
3X	1.7	12'3"	4'0"	49		
				400		400
2	1.13	12'6"	3'2"	40		
2	1.14	21'2"	15'6"	328		
				368	1	368
1	1.18	10'9"	4'5"	48		
1	1.19	21'2"	11'9"	246		
1	1.20	8'2"	2'11"	24		
				318	2	636
TOTAL						1825
UNIT	SPACE NO.	LEVEL 2 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	2.1	5'4"	13'1"	70		
3	2.2	5'4"	0'6"	3		
3	2.3	18'5"	38'0"	700		
3	2.4	6'7"	11'0"	72		
3	2.5	7'0"	1'8"	4		
3	2.6	2'10"	12'0"	34		
3	2.7	15'9"	4'0"	63		
3	2.8	3'0"	1'0"	4		
				950	2	1900
2	2.9	15'4"	0'6"	100		
2	2.10	21'2"	31'11"	676		
2	2.11	5'10"	6'0"	35		
2	2.12	17'3"	4'1"	70		
2	2.13	4'2"	1'0"	4		
				885	1	885
1	2.14	3'10"	0'6"	2		
1	2.15	21'2"	36'6"	773		
1	2.16	3'3"	0'6"	2		
1	2.17	1'3"	1'6"	2		
1	2.18	1'3"	1'6"	2		
				781	2	1562
TOTAL						4347
UNIT	SPACE NO.	LEVEL 3 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	3.1	5'4"	25'9"	137		
3	3.2	1'2"	0'6"	1		
3	3.3	4'2"	0'6"	2		
3	3.4	2'0"	0'6"	1		
3	3.5	2'10"	10'4"	29		
3	3.6	1'0"	7'0"	7		
3	3.7	1'0"	1'8"	2		
3	3.8	3'2"	1'0"	3		
3	3.9	15'9"	4'0"	63		
3	3.10	9'6"	1'0"	4		
3	3.11	18'5"	38'0"	700		
				949	2	1898
2	3.12	2'3"	0'6"	1		
2	3.13	4'7"	0'6"	2		
2	3.14	1'8"	1'0"	2		
2	3.15	17'3"	4'1"	70		
2	3.16	4'2"	1'0"	4		
2	3.17	21'2"	37'11"	803		
				862	1	862
1	3.18	1'2"	0'6"	1		
1	3.19	3'7"	0'6"	2		
1	3.20	2'0"	0'6"	1		
1	3.21	2'2"	1'6"	3		
1	3.22	21'2"	36'6"	773		
1	3.23	1'3"	1'6"	2		
1	3.24	1'3"	1'6"	2		
				784	2	1568
TOTAL						4348
UNIT	SPACE NO.	ROOF INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	4.1	8'3"	5'4"	22		
3	4.2	0'8"	4'0"	2		
3	4.3	8'1"	20'8"	166		
TOTAL				190	2	380
TOWNHOME 5-PLEX TOTAL GROSS FLOOR AREA						10,900



Campbell
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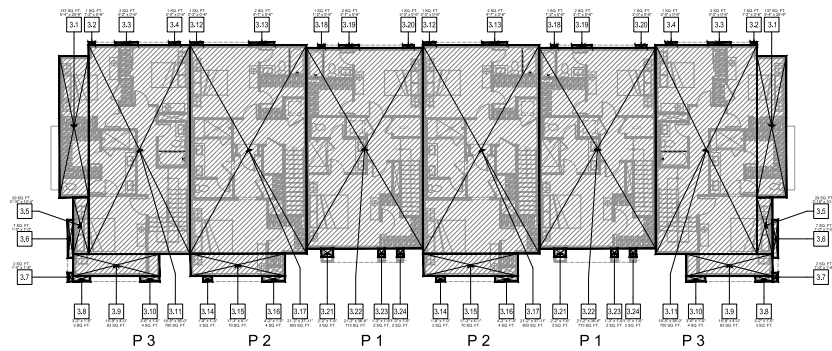
Campbell Technology Park
Campbell, CA # 2023-0039

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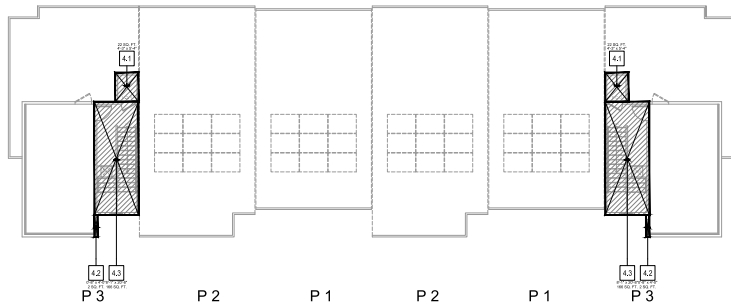


TH-5-PLEX- FAR GROSS FLOOR AREAS
3-STORY TOWNHOUSE

A 1.1.3



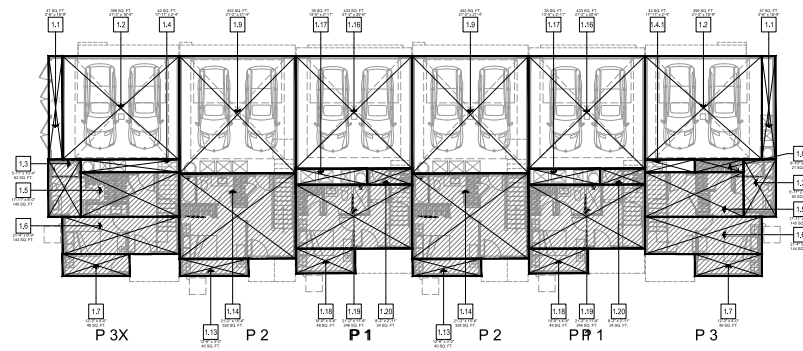
THIRD FLOOR



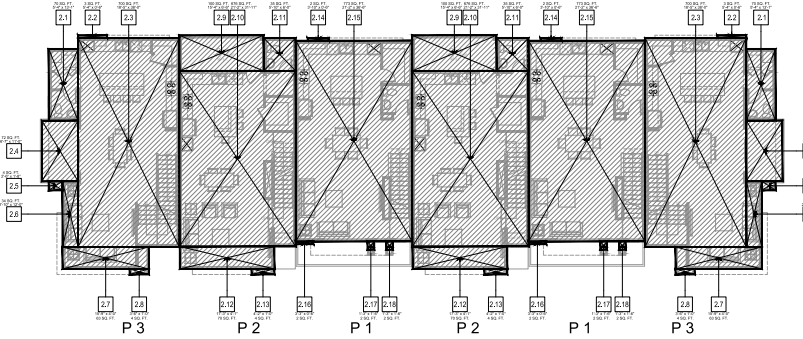
ROOF

FAR LEGEND	
	Areas Included in Gross Floor Area
	Areas Excluded from FAR calculations per Campbell Municipal Cod Definitions F, from Code Amendments-Title-6-7-26 and 21
"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below-grade parking, non residential or multi-family building area devoted to structured or covered parking (e.g., parking garage, or ancillary utility rooms or elevators serving the parking garage), trash enclosures, unenclosed accessory structures (e.g., trellis, bay windows and covered porches, unenclosed accessory structures (e.g., trellis) and covered porches.	
Note: "Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.	

UNIT	SPACE NO.	LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	1.1	2'6"	25'9"	64		
3	1.2	21'3"	38'7"	394		
3	1.3	4'0"	7'3"	32		
3	1.4	10'10"	1'11"	21		
				531	2	1022
2	1.9	21'2"	20'4"	429		
2	1.10	10'6"	6'2"	65		
2	1.11	2'11"	3'6"	30		
				504	2	1008
1	1.16	21'2"	20'6"	433		
1	1.17	13'0"	2'11"	36		
				471	2	942
TOTAL				1,486		2972



FIRST FLOOR



SECOND FLOOR

TH-6-PLEX GROSS FLOOR AREA FOR FAR						
UNIT	SPACE NO.	LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	1.3	5'11"	10'4"	62		
3	1.5	17'11"	8'0"	145		
3	1.6	21'4"	6'9"	144		
3	1.7	12'3"	4'0"	49		
3	1.8	8'10"	2'4"	21		
3X	1.3	5'11"	10'4"	62	1	421
3X	1.5	17'11"	8'0"	145		
3X	1.6	21'4"	6'9"	144		
3X	1.7	12'3"	4'0"	49	1	400
				400		
2	1.13	12'6"	3'2"	40		
2	1.14	21'2"	15'6"	328		
				368	2	736
1	1.18	10'9"	4'5"	48		
1	1.19	21'2"	11'8"	246		
1	1.20	8'2"	2'11"	24		
				318	2	636
TOTAL						2199
UNIT	SPACE NO.	LEVEL 2 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	2.1	5'4"	13'1"	70		
3	2.2	5'4"	0'6"	3		
3	2.3	18'5"	38'0"	700		
3	2.4	6'7"	11'0"	72		
3	2.5	7'6"	1'8"	4		
3	2.6	2'10"	12'0"	34		
3	2.7	15'9"	4'0"	63		
3	2.8	3'6"	1'0"	4		
				950	2	1900
2	2.9	15'4"	6'6"	100		
2	2.10	21'2"	31'11"	676		
2	2.11	5'10"	6'0"	35		
2	2.12	17'3"	4'1"	70		
2	2.13	4'2"	1'0"	4		
				985	2	1770
1	2.14	3'10"	0'6"	2		
1	2.15	21'2"	36'6"	773		
1	2.16	3'3"	0'6"	2		
1	2.17	1'3"	1'6"	2		
1	2.18	1'3"	1'6"	2		
				781	2	1562
TOTAL						5232
UNIT	SPACE NO.	LEVEL 3 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	3.1	5'4"	25'9"	137		
3	3.2	1'2"	0'6"	1		
3	3.3	4'2"	0'6"	2		
3	3.4	2'0"	0'6"	1		
3	3.5	2'10"	10'4"	29		
3	3.6	1'0"	7'0"	7		
3	3.7	1'0"	1'8"	2		
3	3.8	3'2"	1'0"	3		
3	3.9	15'9"	4'0"	63		
3	3.10	3'6"	1'0"	4		
3	3.11	18'5"	38'0"	700		
				949	2	1898
2	3.12	2'3"	0'6"	1		
2	3.13	4'7"	0'6"	2		
2	3.14	1'8"	1'0"	2		
2	3.15	17'3"	4'1"	70		
2	3.16	4'2"	1'0"	4		
2	3.17	21'2"	37'11"	803		
				802	2	1764
1	3.18	1'2"	0'6"	1		
1	3.19	3'7"	0'6"	2		
1	3.20	2'0"	0'6"	1		
1	3.21	2'2"	1'6"	3		
1	3.22	21'2"	36'6"	773		
1	3.23	1'3"	1'6"	2		
1	3.24	1'3"	1'6"	2		
				784	2	1568
TOTAL						5230
UNIT	SPACE NO.	ROOF INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH	WIDTH	AREA		
		FT.-IN.	FT.-IN.	SQ. FT.		
3	4.1	4'3"	5'4"	22		
3	4.2	0'8"	4'0"	2		
3	4.3	8'1"	20'8"	166		
TOTAL				190	2	380
TOWNHOME 6-PLEX TOTAL GROSS FLOOR AREA						13,095



Campbell Technology Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

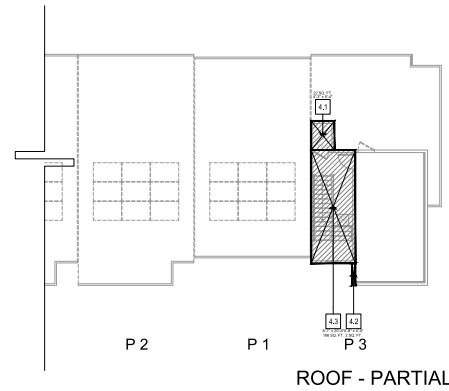
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TH-6-PLEX- FAR GROSS FLOOR AREAS
3-STORY TOWNHOUSE

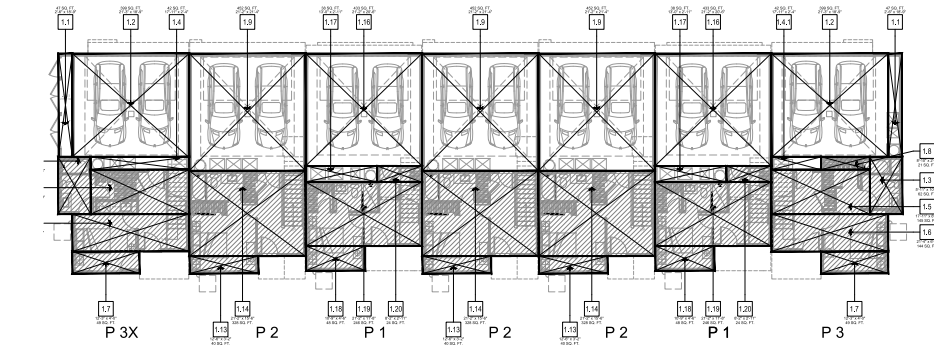
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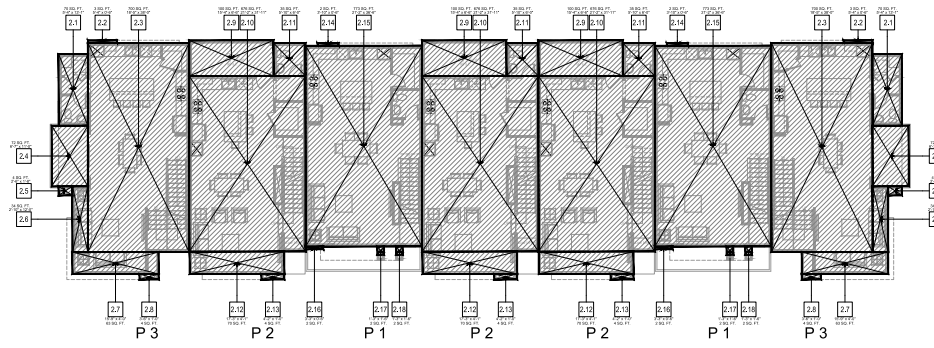


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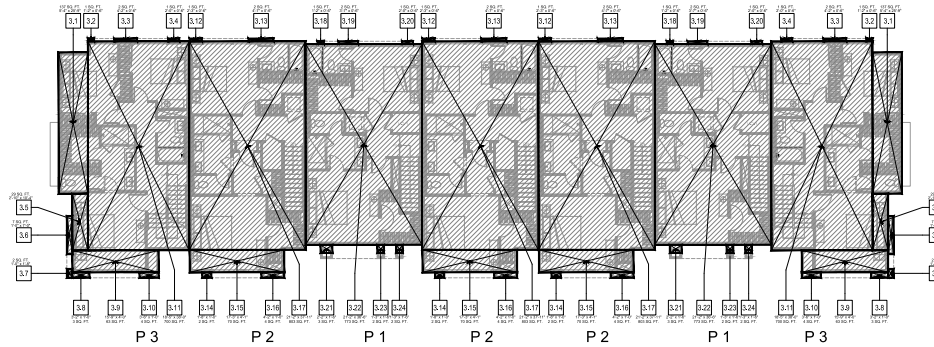
FIRST FLOOR



SECOND FLOOR



THIRD FLOOR



FAR LEGEND	
	Areas Included in Gross Floor Area
	Areas Excluded from FAR calculations per Campbell Municipal Cod Definitions 6. from Code Amendments-Title 6-7-30 and 21
"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below-grade parking, non residential or multi-family building area devoted to structured or covered parking(a., parking garage, or ancillary utility rooms or elevators serving the parking garage), trash enclosures, unenclosed accessory structures(e.g., trellis), bay windows and covered porches.unenclosed accessory structures (e.g., trellis) and covered porches.	
Note: "Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.	

UNIT	SPACE NO	LEVEL 1 AREA EXCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	1.1	26'	25'9"	64		
3	1.2	21'3"	18'7"	394		
3	1.3	45'	7'2"	32		
3	1.4	30'10"	1'11"	21		
				511	2	1022
2	1.9	21'2"	20'4"	429		
2	1.10	10'6"	6'2"	65		
2	1.11	21'1"	3'6"	10		
				504	3	1512
1	1.16	21'2"	20'6"	433		
1	1.17	13'0"	2'11"	38		
				471	2	942
TOTAL				1,486		3476

TH-7-PLEX GROSS FLOOR AREA FOR FAR						
UNIT	SPACE NO	LEVEL 1 AREA INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	1.3	5'11"	10'4"	62		
3	1.5	17'11"	8'0"	145		
3	1.6	21'4"	6'9"	144		
3	1.7	12'3"	4'0"	49		
3	1.8	8'10"	2'4"	21		
3X	1.3	5'11"	10'4"	62	1	421
3X	1.5	17'11"	8'0"	145		
3X	1.6	21'4"	6'9"	144		
3X	1.7	12'3"	4'0"	49	1	
				400		400
2	1.13	12'6"	3'2"	40		
2	1.14	21'2"	15'6"	328		
				368	3	1104
1	1.18	10'9"	4'6"	48		
1	1.19	21'2"	13'8"	286		
1	1.20	8'2"	2'11	24		
				318	2	636
TOTAL						2561
UNIT	SPACE NO	LEVEL 2 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	2.1	5'4"	13'1"	70		
3	2.2	5'4"	0'6"	3		
3	2.3	18'5"	38'0"	700		
3	2.4	6'7"	11'0"	72		
3	2.5	2'6"	1'8"	4		
3	2.6	2'10"	12'0"	34		
3	2.7	15'9"	4'0"	63		
3	2.8	3'6"	1'0"	4		
2	2.9	15'4"	6'6"	100		
2	2.10	21'2"	31'11"	676	2	1300
2	2.11	5'10"	6'0"	35		
2	2.12	17'3"	4'1"	70		
2	2.13	4'2"	1'0"	4		
				885	3	2655
1	2.14	3'10"	0'6"	2		
1	2.15	21'2"	36'6"	773		
1	2.16	3'3"	0'6"	2		
1	2.17	1'3"	1'6"	2		
1	2.18	1'3"	1'6"	2		
				781	2	1562
TOTAL						6117
UNIT	SPACE NO	LEVEL 3 AREA			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	3.1	5'4"	25'9"	137		
3	3.2	1'2"	0'6"	1		
3	3.3	4'2"	0'6"	2		
3	3.4	2'0"	0'6"	1		
3	3.5	2'10"	10'4"	29		
3	3.6	1'0"	7'0"	7		
3	3.7	1'0"	1'8"	2		
3	3.8	3'2"	1'0"	3		
3	3.9	15'9"	4'0"	63		
3	3.10	3'6"	1'0"	4		
3	3.11	18'5"	38'0"	700		
				949	2	1898
2	3.12	2'3"	0'6"	1		
2	3.13	4'7"	0'6"	2		
2	3.14	1'8"	1'0"	2		
2	3.15	17'3"	4'1"	70		
2	3.16	4'2"	1'0"	4		
2	3.17	21'2"	37'11"	803		
				882	3	2646
1	3.18	1'2"	0'6"	1		
1	3.19	3'7"	0'6"	2		
1	3.20	2'0"	0'6"	1		
1	3.21	2'2"	1'6"	3		
1	3.22	21'2"	36'6"	773		
1	3.23	1'3"	1'6"	2		
1	3.24	1'3"	1'6"	2		
				784	2	1568
TOTAL						6112
UNIT	SPACE NO	ROOF INCLUDED			NO. OF UNITS/ BUILDING	GROSS AREA PER UNIT TYPE
		LENGTH FT.-IN.	WIDTH FT.-IN.	AREA SQ. FT.		
3	4.1	4'3"	5'4"	22		
3	4.2	0'8"	4'0"	2		
3	4.3	8'1"	20'8"	166		
				190	2	380
TOTAL						15,170
TOWNHOME 7-PLEX TOTAL GROSS FLOOR AREA						



Campbell Technology Park LLC

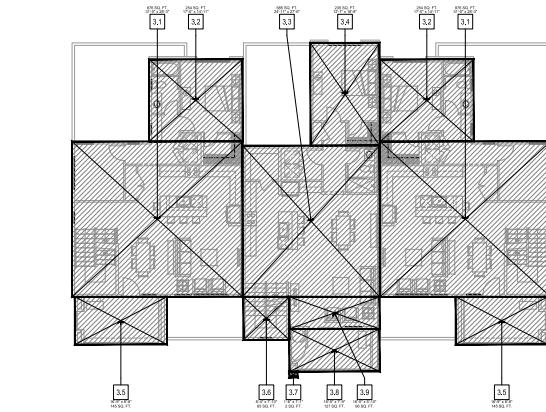
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Campbell, CA # 2023-0039

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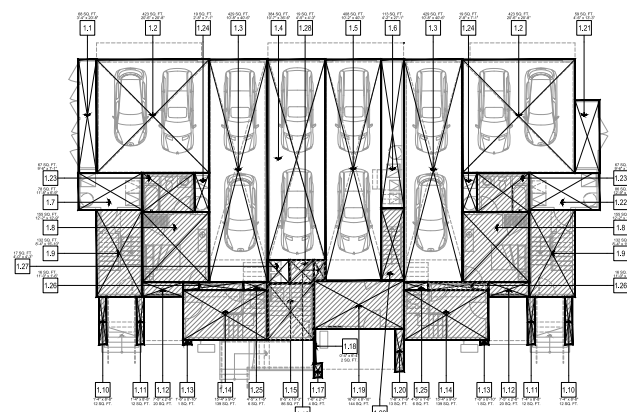


TH-7-PLEX- FAR GROSS FLOOR AREAS
3-STORY TOWNHOUSE

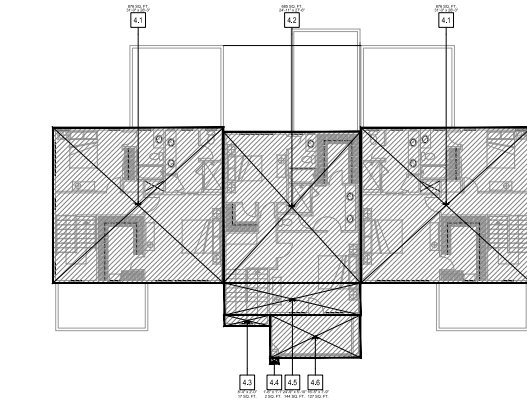
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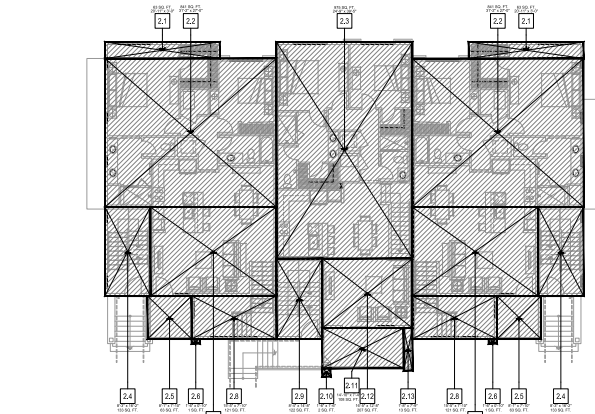
THIRD FLOOR



FIRST FLOOR



FOURTH FLOOR



SECOND FLOOR

PB-6-PLEX GROSS FLOOR AREA FOR FAR									
LEVEL 1 AREA INCLUDED									
BUILDINGS SPACE NO.	LENGTH	WIDTH	AREA	AREA *		MIRRORED	SQ. FT.	SQ. FT.	
				FT.-IN.	FT.-IN.				
6-PLEX LEVEL 1	1.8	12'2"	129'	155'	155'				
	1.9	8'4"	15'10"	132'	132'				
	1.10	1'4"	8'8"	12'	12'				
	1.11	1'4"	8'8"	12'	12'				
	1.12	7'5"	2'8"	20'	20'				
	1.13	1'6"	10'	1'	1'				
	1.14	15'4"	9'0"	139'	139'				
	1.15	8'5"	10'3"	86'	86'				
	1.16	2'2"	3'9"	8'	8'				
	1.17	1'0"	2'7"	4'	4'				
	1.18	4'	6'4"	2'	2'				
	1.19	16'5"	8'10"	144'	144'				
	1.20	1'8"	7'9"	13'	13'				
	1.23	9'6"	7'1"	67'	67'				
	1.26	12'0"	1'9"	16'	16'				
	1.28	4'0"	4'3"	19'	19'				
	1.29	4'7"	13'2"	55'	55'				
SUBTOTAL							885	554	
TOTAL (AREA + AREA MIRRORED)									1,439
LEVEL 2 AREA INCLUDED									
PLAN NO SPACE NO.	LENGTH	WIDTH	AREA	AREA *		MIRRORED	SQ. FT.	SQ. FT.	
				FT.-IN.	FT.-IN.				
6-PLEX LEVEL 2	2.1	20'11"	3'0"	63'	63'				
	2.2	31'2"	2'7"	84'	84'				
	2.3	24'9"	3'5"	97'	97'				
	2.4	8'3"	16'2"	133'	133'				
	2.5	8'1"	7'10"	63'	63'				
	2.6	1'0"	1'0"	1'	1'				
	2.7	22'11"	16'2"	370'	370'				
	2.8	15'5"	7'10"	121'	121'				
	2.9	8'4"	14'8"	122'	122'				
	2.10	1'0"	1'5"	2'	2'				
	2.11	14'10"	7'4"	108'	108'				
	2.12	16'5"	12'8"	207'	207'				
	2.13	1'8"	7'9"	13'	13'				
	SUBTOTAL							3,039	1,590
TOTAL (AREA + AREA MIRRORED)									4,611
LEVEL 3 AREA INCLUDED									
PLAN NO SPACE NO.	LENGTH	WIDTH	AREA	AREA *		MIRRORED	SQ. FT.	SQ. FT.	
				FT.-IN.	FT.-IN.				
6-PLEX LEVEL 3	3.1	31'	28'3"	876'	876'				
	3.2	17'	14'11"	254'	254'				
	3.3	24'11"	2'7"	685'	685'				
	3.4	12'7"	18'8"	235'	235'				
	3.5	16'9"	8'8"	145'	145'				
	3.6	8'4"	7'10"	65'	65'				
	3.7	1'0"	1'1"	2'	2'				
	3.8	16'5"	7'9"	127'	127'				
	3.9	16'5"	5'10"	96'	96'				
SUBTOTAL							2,485	1,275	
TOTAL (AREA + AREA MIRRORED)									3,760
LEVEL 4 AREA INCLUDED									
PLAN NO SPACE NO.	LENGTH	WIDTH	AREA	AREA *		MIRRORED	SQ. FT.	SQ. FT.	
				FT.-IN.	FT.-IN.				
6-PLEX LEVEL 4	4.1	31'	28'3"	876'	876'				
	4.2	24'11"	2'7"	685'	685'				
	4.3	6'4"	7'	17'	17'				
	4.4	1'0"	1'1"	2'	2'				
	4.5	24'9"	5'10"	144'	144'				
	4.6	16'5"	7'9"	127'	127'				
SUBTOTAL							1,851	876	
TOTAL (AREA + AREA MIRRORED)									2,727
GRAND TOTAL 6-PLEX GROSS FLOOR AREA									12,537
FAR LEGEND									
									
Areas Included in Gross Floor Area									
Areas Excluded from FAR calculations per Campbell Municipal Cod Definitions F. from Code Amendments Title 6-7-20 and 21									
"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below-grade parking, non-residential or multi-family building area devoted to structured or covered parking(i.e., parking garage, or ancillary utility rooms or elevators serving the parking garage), trash enclosures, unenclosed accessory structure(s) (e.g., trellis), bay windows and covered porches, unenclosed accessory structures (e.g., trellis) and covered porches.									
Note: "Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.									
*AREA MIRRORED IS A DUPLICATE BUILDING AREA TYPICALLY MIRRORED ABOUT THE CENTER OF THE BUILDING.									

BUILDING SPACE NO.	LEVEL 1 AREA EXCLUDED				AREA *	
	LENGTH	WIDTH	SQ. FT.	SQ. FT.	MIRRORED	
	FT.-IN.	FT.-IN.				
6-PLEX LEVEL 1	1.1	3'4"	20'8"	68	423	
	1.2	20'5"	20'8"	423	423	
	1.3	10'8"	40'6"	426	429	
	1.4	10'7"	36'5"	384		
	1.5	10'2"	40'3"	408		
	1.6	4'2"	27'1"	113		
	1.7	11'8"	6'9"	78		
	1.21	4'6"	13'3"	59		
	1.22	12'9"	6'9"	86		
	1.24	2'8"	7'1"	19	19	
	1.25	4'5"	1'9"	6	6	
	1.27	4'0"	4'3"	17	17	
SUBTOTAL			2,090	877		
TOTAL (AREA + AREA MIRRORED)				2,967		



Campbell
Technology
Park LLC

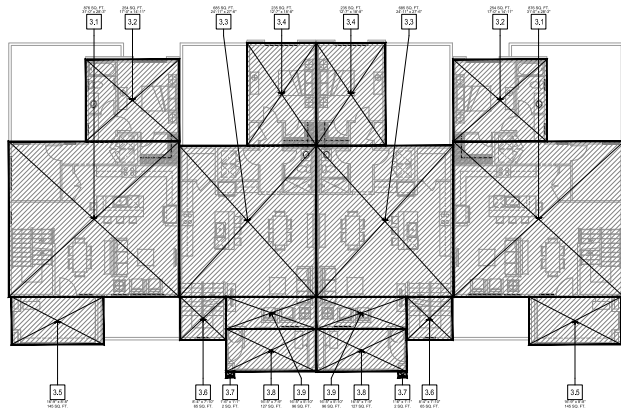
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Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

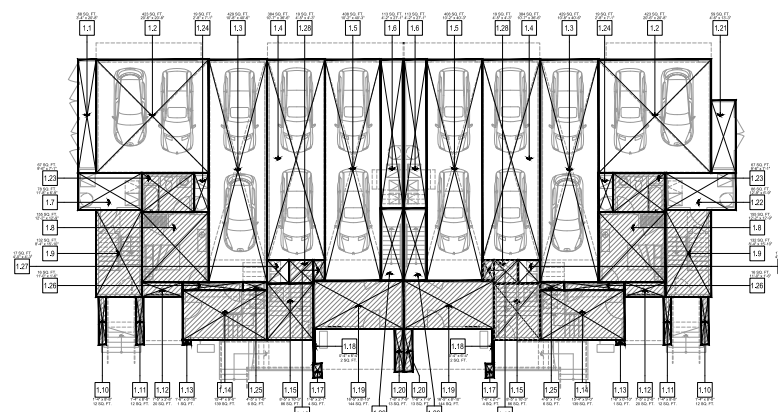


PB-8-PLEX- FAR GROSS FLOOR AREAS
4-STORY CONDOMINIUM

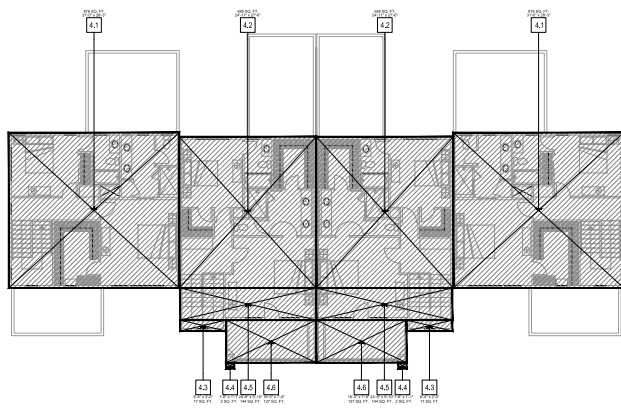
A 1.1.6



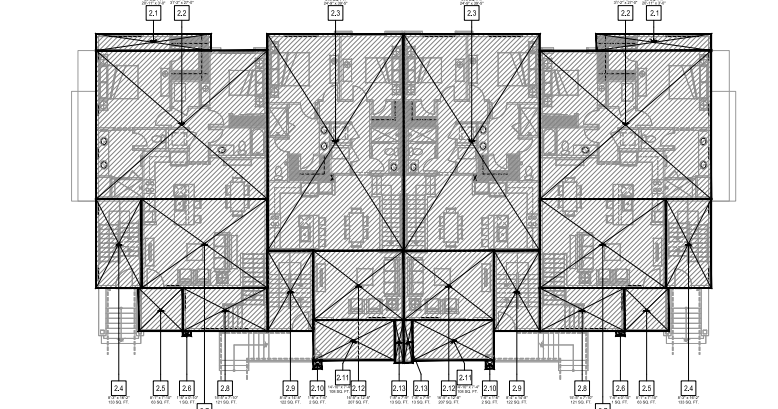
P4
THIRD FLOOR



P4 P3
FIRST FLOOR



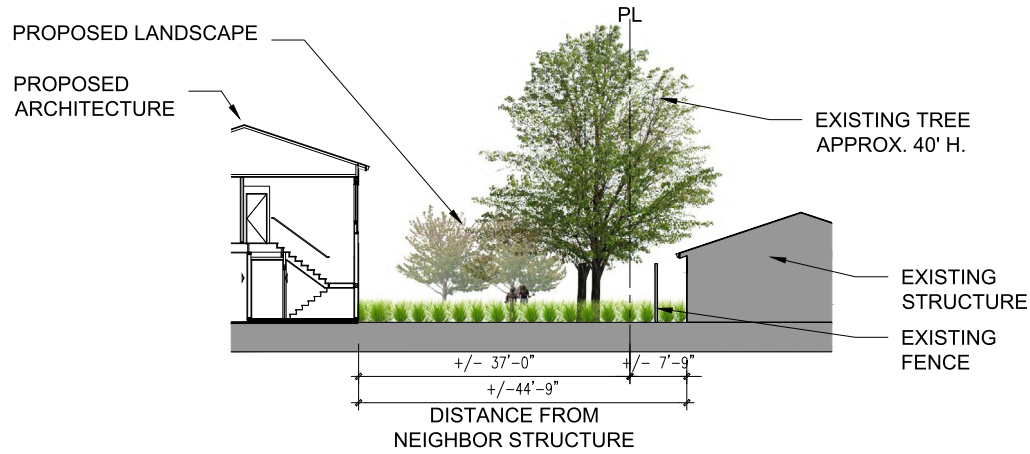
P4
FOURTH FLOOR



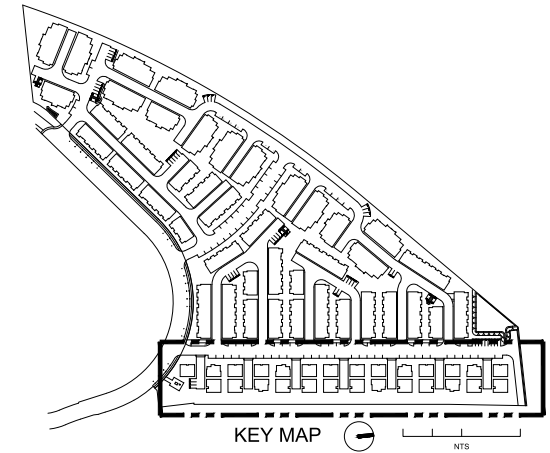
P4 P3
SECOND FLOOR

PB-8-PLEX GROSS FLOOR AREA FOR FAR					
BUILDINGS	SPACE NO	LEVEL 1 AREA INCLUDED		AREA *	
		LENGTH	WIDTH	AREA	MIRRORED
B-PLEX LEVEL 1	1.1	12' 2"	12' 2"	155	155
	1.2	8' 4"	12' 10"	102	102
	1.3	14'	8' 8"	122	122
	1.4	14'	8' 8"	122	122
	1.5	7' 5"	2' 8"	20	20
	1.6	1' 0"	1' 0"	1	1
	1.7	15' 4"	9' 0"	139	139
	1.8	8' 5"	10' 3"	86	86
	1.9	2' 2"	3' 9"	8	8
	1.10	1' 0"	2' 7"	4	4
	1.11	4'	0' 4"	2	2
	1.12	16' 5"	8' 10"	144	144
	1.13	1' 8"	7' 9"	13	13
	1.14	9' 6"	7' 1"	67	67
	1.15	11' 0"	1' 6"	16	16
SUBTOTAL				880	880
TOTAL (AREA + AREA MIRRORED)				1,770	
PLAN NO	SPACE NO	LEVEL 2 AREA INCLUDED		AREA *	
		LENGTH	WIDTH	AREA	MIRRORED
B-PLEX LEVEL 2	2.1	20' 11"	3' 0"	63	63
	2.2	3' 1"	2' 7"	84	84
	2.3	24' 9"	30' 2"	755	755
	2.4	8' 3"	16' 2"	133	133
	2.5	8' 1"	7' 10"	63	63
	2.6	1' 0"	1' 0"	1	1
	2.7	22' 11"	18' 2"	370	370
	2.8	15' 5"	7' 10"	121	121
	2.9	8' 4"	14' 8"	122	122
	2.10	1' 0"	1' 0"	1	1
	2.11	14' 10"	7' 4"	108	108
	2.12	16' 5"	12' 8"	207	207
	2.13	1' 8"	7' 9"	13	13
				3,019	3,019
SUBTOTAL				3,019	
TOTAL (AREA + AREA MIRRORED)				6,038	
PLAN NO	SPACE NO	LEVEL 3 AREA INCLUDED		AREA *	
		LENGTH	WIDTH	AREA	MIRRORED
B-PLEX LEVEL 3	3.1	31'	28' 3"	876	876
	3.2	17'	14' 11"	254	254
	3.3	24' 11"	27' 0"	685	685
	3.4	12' 7"	18' 8"	235	235
	3.5	16' 9"	8' 8"	145	145
	3.6	8' 4"	7' 10"	65	65
	3.7	1' 0"	1' 0"	1	1
	3.8	16' 5"	7' 9"	127	127
	3.9	16' 5"	5' 10"	96	96
				2,465	2,465
SUBTOTAL				2,465	
TOTAL (AREA + AREA MIRRORED)				4,930	
PLAN NO	SPACE NO	LEVEL 4 AREA INCLUDED		AREA *	
		LENGTH	WIDTH	AREA	MIRRORED
B-PLEX LEVEL 4	4.1	31'	28' 3"	876	876
	4.2	24' 11"	27' 0"	685	685
	4.3	8' 4"	7' 10"	65	65
	4.4	1' 0"	1' 0"	1	1
	4.5	24' 9"	5' 10"	144	144
	4.6	16' 5"	7' 9"	127	127
				1,861	1,861
SUBTOTAL				1,861	
TOTAL (AREA + AREA MIRRORED)				3,792	
GRAND TOTAL 8-PLEX GROSS FLOOR AREA				16,480	
FAR LEGEND					
Areas Included in Gross Floor Area					
Areas Excluded from FAR calculations per Campbell Municipal Cod Definitions F, from Code Amendments Title 6-7-20 and 21					
"Floor area ratio" means the ratio of gross floor area to the net lot area. Floor area ratio shall include the floor area of all stories of all buildings and accessory structures and shall be measured to the outside surface of the exterior walls. Floor area ratio does not include uninhabitable attic space, basements, below-grade parking, non residential or multi-family building area devoted to structured or covered parking (i.e., parking garage, or ancillary utility rooms or elevators serving the parking garage), trash enclosures, unenclosed accessory structures (e.g., trellis), bay windows and covered porches, unenclosed accessory structures (e.g., trellis) and covered porches.					
Note: "Floor area, gross" means the total horizontal floor area in square feet of all stories of all buildings measured to the outside surface of exterior walls. Stairways and elevator shafts shall be included on all floors.					
*AREA MIRRORED IS A DUPLICATE BUILDING AREA TYPICALLY MIRRORED ABOUT THE CENTER OF THE BUILDING.					

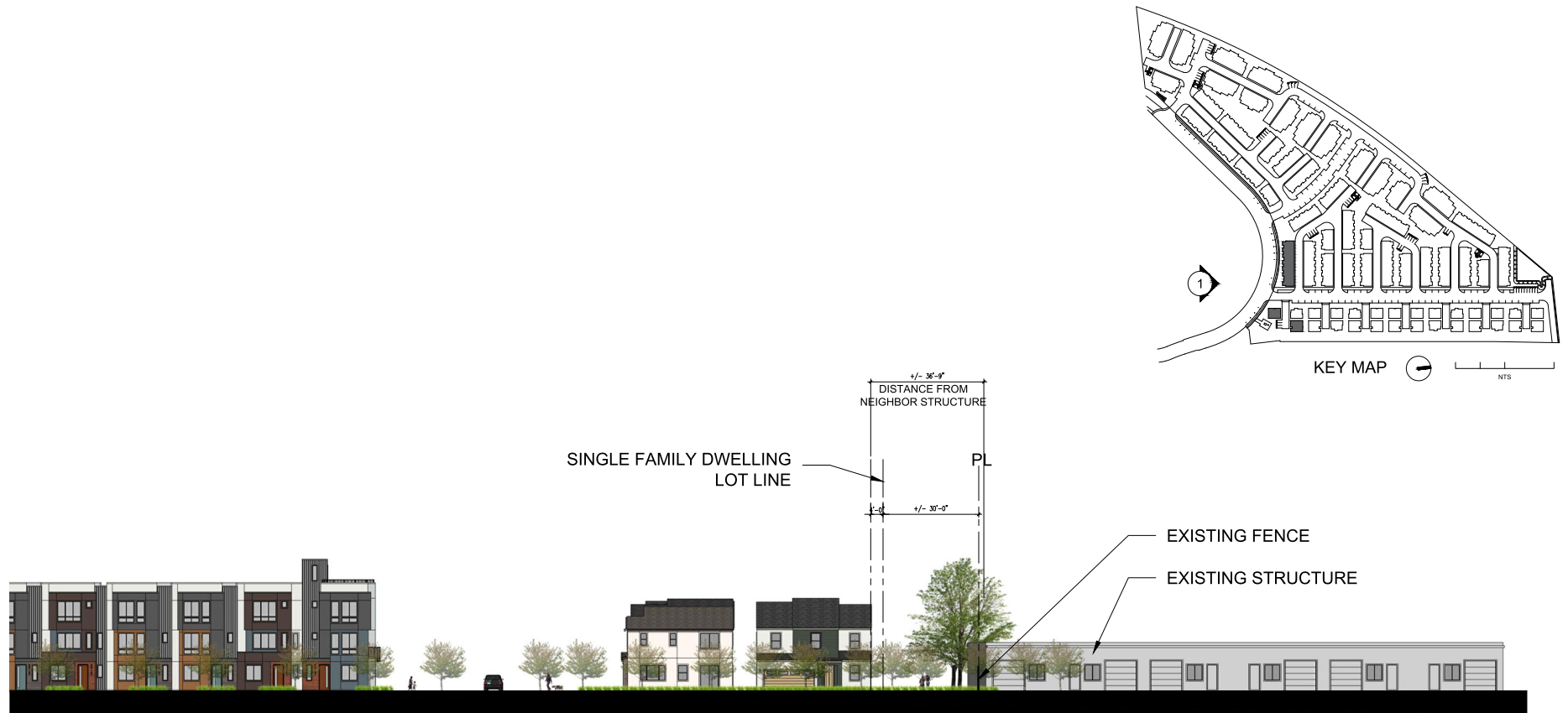
BUILDINGS	SPACE NO	LEVEL 1 AREA EXCLUDED		AREA *	
		LENGTH	WIDTH	AREA	MIRRORED
B-PLEX LEVEL 1	1.1	12' 2"	12' 2"	155	155
	1.2	8' 4"	12' 10"	102	102
	1.3	14'	8' 8"	122	122
	1.4	14'	8' 8"	122	122
	1.5	7' 5"	2' 8"	20	20
	1.6	1' 0"	1' 0"	1	1
	1.7	15' 4"	9' 0"	139	139
	1.8	8' 5"	10' 3"	86	86
	1.9	2' 2"	3' 9"	8	8
	1.10	1' 0"	2' 7"	4	4
	1.11	4'	0' 4"	2	2
	1.12	16' 5"	8' 10"	144	144
	1.13	1' 8"	7' 9"	13	13
	1.14	9' 6"	7' 1"	67	67
	1.15	11' 0"	1' 6"	16	16
SUBTOTAL				2,090	2,090
TOTAL (AREA + AREA MIRRORED)				3,880	



2. PROXIMITY SECTION DIAGRAM



1. PRIVACY PLAN



1. STREETSCAPE VIEW



Campbell
Technology
Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

Scale: 1/16" = 1'-0"
0 8 16 32

STREETSCAPE DRAWING

A 1.2.1

SINGLE FAMILY DETACHED

R3 (SEE A1-2.0.0 - A1-6.0.1 FOR ELEVATIONS AND PLANS)

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE (CBC) PART 2, VOLUMES 1 AND 2, TITLE 24
[BASED ON 2018 INTERNATIONAL BUILDING CODE]

2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24
[BASED ON 2017 NATIONAL ELECTRICAL CODE]

2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24
[BASED ON 2018 UNIFORM MECHANICAL CODE]

2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24
[BASED ON 2018 UNIFORM PLUMBING CODE]

2022 CALIFORNIA ENERGY CODE PART 6, TITLE 24

2022 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24
[BASED ON 2018 INTERNATIONAL FIRE CODE]

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) PART 11

CITY OF CAMPBELL MUNICIPAL CODE

TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R-3
GARAGE: U
FIRE SPRINKLERS: NFPA 13-D

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13-D IN ONE- AND TWO- FAMILY DWELLINGS.

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES.

ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

3 STORY TOWNHOUSE:
R2- TOWNHOUSE CONDOMINIUMS

(SEE A2-2.0.0 - A2-7.0.0 FOR ELEVATIONS AND PLANS)

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE (CBC) PART 2, VOLUMES 1 AND 2, TITLE 24
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[BASED ON 2018 INTERNATIONAL FIRE CODE]

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) PART 11

CITY OF CAMPBELL MUNICIPAL CODE

DEFINITIONS:
[PER CRC R202]

TOWNHOUSE CONDOMINIUMS: A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON AT LEAST TWO SIDES.

OCCUPANCY GROUP:
(CRC R 1.1.3.1)

TOWNHOUSE CONDOMINIUMS
U (PRIVATE GARAGES)

CONSTRUCTION TYPE

TYPE V-B

FIRE SPRINKLERS:
(CRC R 313)

NFPA 13-D

ALLOWABLE HEIGHT:

40 FEET

ALLOWABLE STORIES:
(CRC 1.13)

3 STORIES

ALLOWABLE FLOOR AREA

THE CRC DOES NOT PUT AREA LIMITATIONS ON TOWNHOUSE CONDOMINIUMS

TOWNHOUSE UNIT SEPARATION
(CRC R 302.2.2)

PER CRC R302.2 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY IN THE COMMON WALL CAVITY. PER CRC R 302.2 ITEM 7 THE COMMON WALL SHALL BE NOT LESS THAN 1-HOUR FIRE RATED.

EXTERIOR WALL RATING:
(CRC TABLE R 302.1(2))

FIRE SEPARATION DISTANCE ≥ 3' SHALL BE ZERO (0) (NON-RATED)
FIRE SEPARATION DISTANCE < 3' SHALL BE ONE (1) - (1 HOUR)

MAXIMUM AREA OF EXTERIOR WALL OPENINGS:
(CRC TABLE R 302.1(2))

FIRE SEPARATION DISTANCE ≥ 3' SHALL BE UNLIMITED (UNRATED)
FIRE SEPARATION DISTANCE < 3' SHALL NOT BE ALLOWED

UTILITIES / THROUGH PENETRATIONS
(CRC R302.4.1)

ELECTRIC & GAS METERS LOCATED IN COMMON HOA MAINTAINED CLOSETS AT THE END OF EACH BUILDING ARE RUN THROUGH THE BUILDING LATERALLY IN A NON-RATED SOFFIT RACEWAY LOCATED IN THE GARAGES. ACCESS EASEMENTS EXIST FOR USE AND MAINTENANCE OF THE UTILITY RACEWAY. THROUGH PENETRATIONS OF THE 1-HOUR RATED COMMON WALL SEPARATING UNITS BY ELECTRICAL AND PLUMBING LINES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R 302.4.1 & CRC R 302.4.1.2 BY PROVIDING A THROUGH PENETRATION FIRESTOP SYSTEM.

ACCESSIBILITY:
(PER CRC R320.1)

DWELLING UNITS IN A BUILDING CONSISTING OF FOUR OR MORE CONDOMINIUM UNITS SHALL MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE CHAPTER 11A - MULTISTORY DWELLINGS.
REFER TO SITE PLAN FOR MORE INFORMATION AND LOCATION OF ACCESSIBLE UNITS.
MULTI-DWELLING BUILDINGS WITH LESS THAN 4 UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS. 10% OF THE REMAINING UNITS THAT ARE NOT EXEMPT MUST BE MADE ACCESSIBLE BASED ON CBC SECTION 1102.3.1 (SEE SITE PLAN, SHEET A1.10).

4 STORY
R2- CONDOMINIUMS

(SEE A3-2.0.0 - A3-7.0.0 FOR ELEVATIONS AND PLANS)

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE (CBC) PART 2, VOLUMES 1 AND 2, TITLE 24
[BASED ON 2018 INTERNATIONAL BUILDING CODE]

2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24
[BASED ON 2017 NATIONAL ELECTRICAL CODE]

2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24
[BASED ON 2018 UNIFORM MECHANICAL CODE]

2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24
[BASED ON 2018 UNIFORM PLUMBING CODE]

2022 CALIFORNIA ENERGY CODE PART 6, TITLE 24

2022 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24
[BASED ON 2018 INTERNATIONAL FIRE CODE]

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) PART 11

CITY OF CAMPBELL MUNICIPAL CODE

CODE SUMMARY

USE & OCCUPANCY
(CBC SECTION 310.4 & 312.1)

R-2: BUILDINGS CONTAINING MORE THAN TWO DWELLING UNITS (CONDOMINIUMS)
U: PRIVATE GARAGES

CONSTRUCTION TYPE
(CBC SECTION 602.5 & TABLE 504.4)

TYPE V-A, 4-STORY

SEPARATIONS:
(CBC SECTION 420)

DWELLING UNIT SEPARATION PER CBC 420.2 & 420.3:
WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING AND SEPARATING DWELLING UNITS FROM OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS 1-HOUR FIRE PARTITIONS IN ACCORDANCE WITH CBC 708. DWELLING UNITS OF DIFFERENT TENANCY SHALL BE SEPARATED BY A 1-HOUR RATED HORIZONTAL ASSEMBLY PER TABLE 601 AND CBC 711

GARAGE SEPARATION:
PRIVATE GARAGES (U) SHALL BE SEPARATED FROM THE DWELLING UNIT (R2) BY NOT LESS THAN 5/8" TYPE "X" GYP. BOARD PER 406.3.2.1. PRIVATE GARAGES (U) SHALL BE SEPARATED FROM ITS DWELLING UNIT (R2) BY NOT LESS THAN A 1-HR RATED ASSEMBLY PER TABLE 601 FOR TYPE VA CONSTRUCTION SUPERCEDES 406.3.2.1 WHERE BEARING WALLS OCCUR.

PRIVATE GARAGES (U) SHALL BE SEPARATED FROM OTHER PRIVATE GARAGES (U) AND DWELLING UNITS (R2) OF A DIFFERENT TENANCY BY A 1-HOUR FIRE BARRIER PER 406.3.1 CONSTRUCTED IN ACCORDANCE WITH CBC 707.

RATED FLOOR/CEILING ASSEMBLY PER CBC TABLE 601:
ALL HORIZONTAL ASSEMBLIES IN TYPE VA CONSTRUCTION SHALL BE 1-HOUR RATED

STC/IRC 50 MIN. REQUIRED BETWEEN HABITABLE ROOMS OF DIFFERENT TENANCIES PER CBC 1206.2 & 1206.3.

DOOR BETWEEN PRIVATE GARAGE (U) AND ITS OWN DWELLING UNIT (R2) SHALL BE 20MIN RATED - SELF-CLOSING, SELF-LATCHING, SOLID WOOD DOOR OR SOLID OR HONEYCOMBS CORE STEEL DOOR, MINIMUM 1-3/8 INCHES (34.9 MM) THICK.

ALLOWABLE HEIGHT
(CBC TABLE 504.3 & SEC. 504)

TYPE V-A: 60 FEET MAXIMUM (WITH REQUIRED NFPA 13 FOR 4 STORIES & WITH AREA INCREASE)
65' FEET PER PROJECT DEVELOPMENT STANDARDS
ACTUAL HEIGHT < 50 FEET - SEE ELEVATIONS

ALLOWABLE STORIES:
(CBC TABLE 504.4 & SEC. 504)

R-2, TYPE V-A: 4 STORIES (3 STORIES BASE ALLOWABLE + 1 STORY SPRINKLER INCREASE FOR NFPA 13)
U, TYPE V-A: 2 STORIES (1 STORIES BASE ALLOWABLE + 1 STORY SPRINKLER INCREASE)

ALLOWABLE AREA
(CBC TABLE 506.2)

SEE "ALLOWABLE AREA" TABLES ON THIS SHEET.

FIRE SUPPRESSION SYSTEMS
CBC 903.3.1.1 & 905.3.1(EXEMPTIONS))

FIRE SPRINKLER: NFPA 13

FIRE ALARM MONITORING
(CBC SECTION 907.2.11.2 & 907.6.5 EXCEPTION 1)

SINGLE AND MULTIPLE-STATION ALARMS SMOKE ALARMS ARE REQUIRED PER 907.2.11. MONITORING BY A SUPERVISING STATION IS NOT REQUIRED PER 907.6.5 EXCEPTION 1

RATED EXTERIOR WALLS
(CBC TABLE 601)

TYPE VA, 4-STORY: 1-HOUR RATED CONSTRUCTION REQUIRED FOR THE FOLLOWING: PRIMARY STRUCTURAL FRAME, EXTERIOR AND INTERIOR BEARING WALLS, FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS, AND ROOF CONSTRUCTION. A HEAVY TIMBER (60X MIN) MEMBER SHALL BE ALLOWED FOR SUBSTITUTION FOR A 1-HOUR FIRE-RESISTANCE RATING.

ALLOWABLE OPENINGS
(CBC TABLE 705.6)

UNPROTECTED SPRINKLERED - PER C.B.C. TABLE 705.8

ROOF ACCESS
(CBC SECTION 1011.12)

STAIRWAY TO THE ROOF NOT REQUIRED ON 4-STORY BUILDINGS WITH ROOF SLOPES > 4:12

EXITING
(CBC SECTION 1006.2.1 EXCEPTION 1, CBC TABLE 1006.2.1 & 1006.3.2(1))

125 FEET MAXIMUM EXIT TRAVEL DISTANCE FOR A SINGLE EXIT IN 4-STORY R-2 DWELLING UNIT. EMERGENCY ESCAPE AND RESCUE OPENINGS (EGRESS WINDOWS) ARE REQUIRED IN ALL SLEEPING ROOMS BELOW THE FOURTH STORY. SEE EXITING DIAGRAMS.



CARLSON, BARBEE & GIBSON, INC.



Campbell Technology Park LLC

Campbell Technology Park

Campbell, CA # 2023-0039

DESIGN REVIEW

JANUARY 16, 2024

CODE ANALYSIS

A 1.3.0

R2- CONDOMINIUMS

ALLOWABLE AREA

MIXED - OCCUPANCY, MULTISTORY BUILDINGS.

ALLOWABLE AREA PER STORY CALCULATION
FOR MIXED-OCCUPANCY MULTISTORY BUILDINGS (CBC SEC. 506.2.4):

Aa = (At + (NS x If))

Aa = ALLOWABLE BUILDING AREA/SQUARE FEET

At = TABULAR BUILDING AREA FACTOR (NS, S13R OR SM VALUE, AS APPLICABLE)IN ACCORDANCE WITH TABLE 506.2

NS = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR A NON SPRINKLERED BUILDING(REGARDLESS OF WHETHER THE BUILDING IS SPRINKLERED)

If = AREA FACTOR INCREASE DUE TO FRONTAGE PER 506.3 (EQUATION 5-3) If = (F/P - 0.25) 1/W/O

P= PERIMETER OF ENTIRE BUILDING

W= WIDTH OF PUBLIC WAY OR OPEN SPACE (WHERE W VARIES, USE WEIGHTED AVERAGE, EQUATION 5-4)

WEIGHTED WIDTH AVERAGE (EQUATION 5-4)

W= (L1 X w1 + L2 x w2 + L3 x w3...)/F

W= CALCULATED WIDTH OF PUBLIC WAY OR OPEN SPACE

L= LENGTH OF A PORTION OF THE EXTERIOR PERIMETER WALL

w= WIDTH GREATER THAN 20') OF A PUBLIC WAY OR OPEN SPACE ASSOCIATED WITH THAT PORTION OF THE EXTERIOR PERIMETER WALL

F= BUILDING PERIMETER THAT FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING A WIDTH OF 20 FEET

MIXED - OCCUPANCY, MULTISTORY RATIO CALCULATION

6 PLEX BLDG. SQ.FT. PER OCCUPANCY		
	R2 (CONDITIONED & UNCONDITIONED)	U (GARAGE & UTILITIES)
1st FL (sq.ft.)	1,439	2967
2nd FL (sq.ft.)	4,611	
3rd FL (sq.ft.)	3,760	
4th FL (sq.ft.)	2,727	
TOTAL BY OCC.	12,537	2967

8 PLEX BLDG. SQ.FT. PER OCCUPANCY		
	R2 (CONDITIONED & UNCONDITIONED)	U (GARAGE & UTILITIES)
1st FL (sq.ft.)	1,770	3889
2nd FL (sq.ft.)	6,038	
3rd FL (sq.ft.)	4,970	
4th FL (sq.ft.)	3,702	
TOTAL BY OCC.	16,480	3889

MIXED - OCCUPANCY, MULTISTORY RATIO CALCULATION

1ST STORY:	$\frac{R-2 \text{ ACTUAL}}{R-2 \text{ ALLOWABLE (Eq. 5-3)}} + \frac{U \text{ ACTUAL}}{U \text{ ALLOWABLE (Eq. 5-3)}}$	<1
2ND STORY:	$\frac{R-2 \text{ ACTUAL}}{R-2 \text{ ALLOWABLE (Eq. 5-3)}}$	<1
3RD STORY:	$\frac{R-2 \text{ ACTUAL}}{R-2 \text{ ALLOWABLE (Eq. 5-3)}}$	<1
4TH STORY:	$\frac{R-2 \text{ ACTUAL}}{R-2 \text{ ALLOWABLE (Eq. 5-3)}}$	<1
TOTAL SUM OF RATIOS:		<2

(TYPE V-A CONSTRUCTION):

R-2 MIXED- OCCUPANCY ALLOWABLE AREA (Eq 5-3)

Aa = (At + (NS x If))

Aa = (36,000 + (12,000 x 0))

Aa = 36,000

U MIXED- OCCUPANCY ALLOWABLE AREA (Eq 5-3)

Aa = (At + (NS x If))

Aa = (27,000 + (9,000 x 0))

Aa = 27,000

6 PLEX

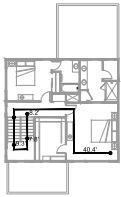
1ST STORY:	$\frac{1,439}{36,000} + \frac{2,967}{27,000}$	= 0.04 + 0.11= 0.15 <1
2ND STORY:	$\frac{4,611}{36,000}$	= 0.13 <1
3RD STORY:	$\frac{3,760}{36,000}$	= 0.10 <1
4TH STORY:	$\frac{2,727}{36,000}$	= 0.08 <1
TOTAL SUM OF RATIOS		= 0.46 <2

FRONTAGE INCREASE NOT REQUIRED

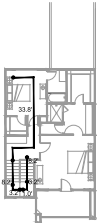
8 PLEX

1ST STORY:	$\frac{1,770}{36,000} + \frac{3,889}{27,000}$	= 0.05 + 0.14= 0.19 <1
2ND STORY:	$\frac{6,038}{36,000}$	= 0.17 <1
3RD STORY:	$\frac{4,970}{36,000}$	= 0.14 <1
4TH STORY:	$\frac{3,702}{36,000}$	= 0.10 <1
TOTAL SUM OF RATIOS		= 0.60 <2

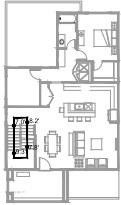
FRONTAGE INCREASE NOT REQUIRED



PLAN 4 FOURTH FLOOR
PATH OF TRAVEL = 65.7'



PLAN 2 FOURTH FLOOR
PATH OF TRAVEL = 57.6'



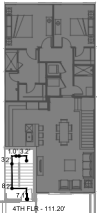
PLAN 4 THIRD FLOOR
PATH OF TRAVEL = 32.3'



PLAN 2 THIRD FLOOR
PATH OF TRAVEL = 30.9'



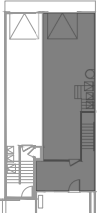
PLAN 4 SECOND FLOOR
PATH OF TRAVEL = 24'



PLAN 2 SECOND FLOOR
PATH OF TRAVEL = 22.7'



PLAN 4 FIRST FLOOR
PATH OF TRAVEL = 0



PLAN 2 FIRST FLOOR
PATH OF TRAVEL = 0

PLAN 4 TOTAL PATH OF TRAVEL = 112.2'

PLAN 2 TOTAL PATH OF TRAVEL = 112.2'



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CODE ANALYSIS

A 1.3.1



Legend:

Building Coverage

Building Coverage:

(Shaded Area/ Net Site Area)

Site Net Area +/- 17.10 acres (744,876 s.f.)

Covered Area: 264,830 s.f. / 744,876 s.f. site

Coverage: ±36%

Per City of Campbell Code- Amendments Title 6-7-20 and 21

Lot coverage means the ratio of covered area to net lot area.

Covered area means the total horizontal area within a lot that is covered or partially covered by structures, buildings, beams, slats or projections when viewed from above. Covered area does not include cornices, eaves, sills, canopies, bay windows, and chimneys cumulatively measuring less than 30-inches in depth as measured to the outside surface of exterior walls, or any basements, ground level paving, pools, spas and decks, landscape features, or light walls

Notes :

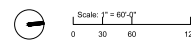
1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit location, etc.
2. Refer to Landscape Sheets for landscape design, dimensions and detailed information.



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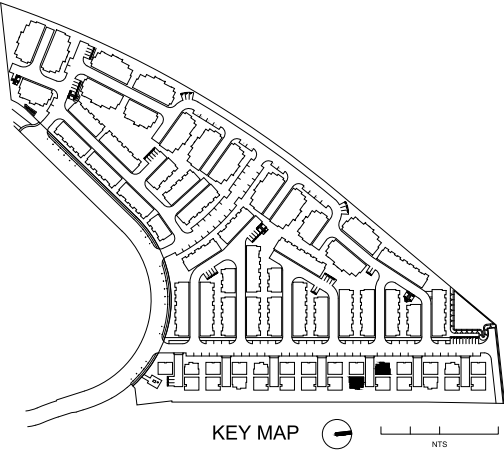
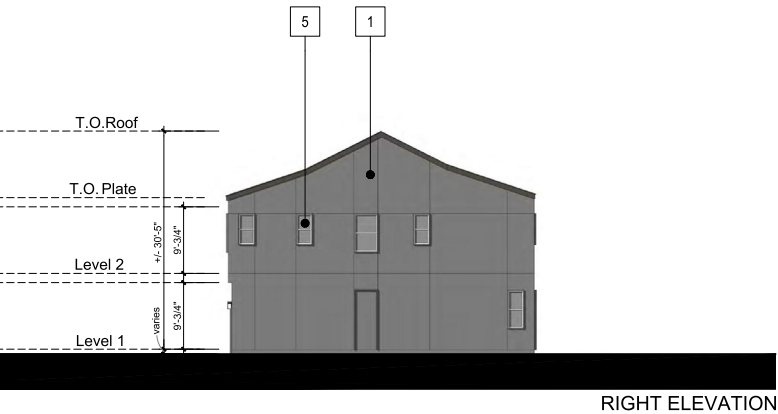
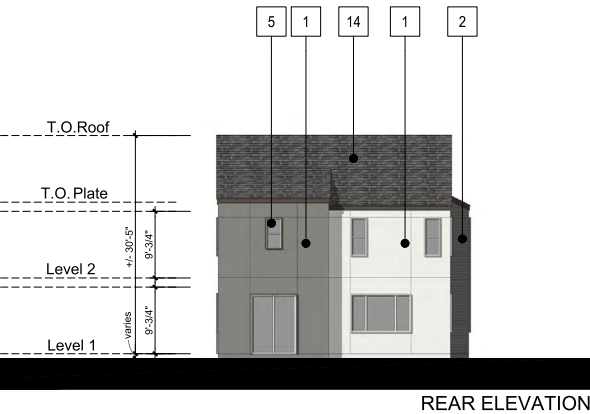
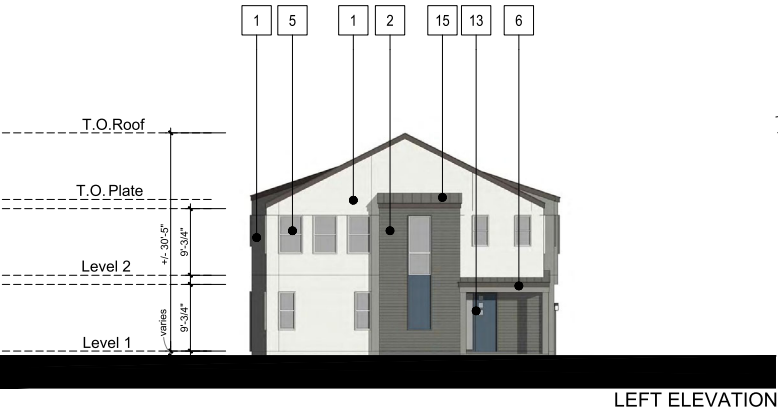
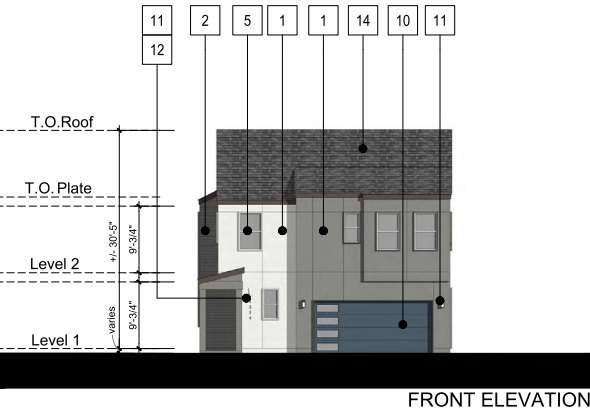


BUILDING COVERAGE

A 1.4.0

MATERIAL LEGEND

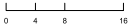
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2. CEMENTITIOUS HORIZONTAL SIDING	9. METAL RAILING
3. STONE VENEER	10. METAL GARAGE DOOR
4. MASONRY VENEER	11. LIGHT FIXTURE
5. VINYL WINDOW	12. UNIT ADDRESS
6. CANOPY	13. ENTRY DOOR
7. CEMENTITIOUS VERTICAL SIDING	14. COMPOSITION SHINGLE ROOF
	15. STANDING SEAM METAL ROOF



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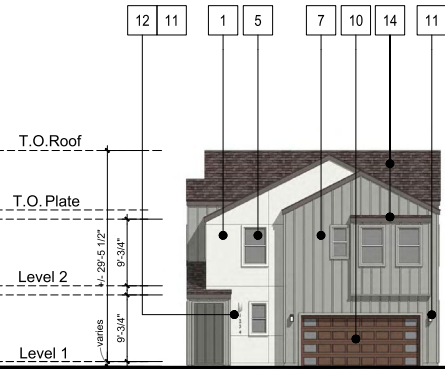


SFD- PLAN 1
STYLE 1

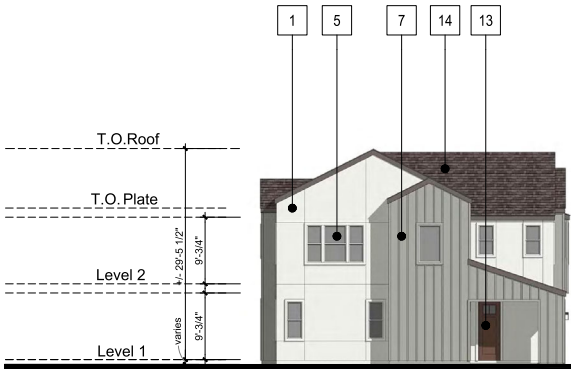
A 1-2.0.0

MATERIAL LEGEND

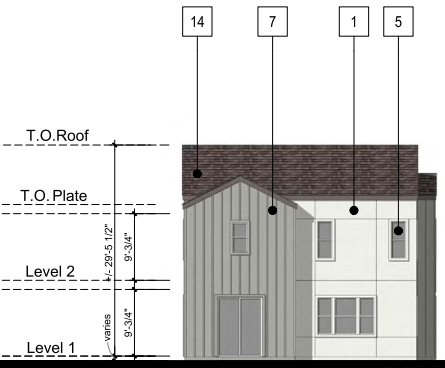
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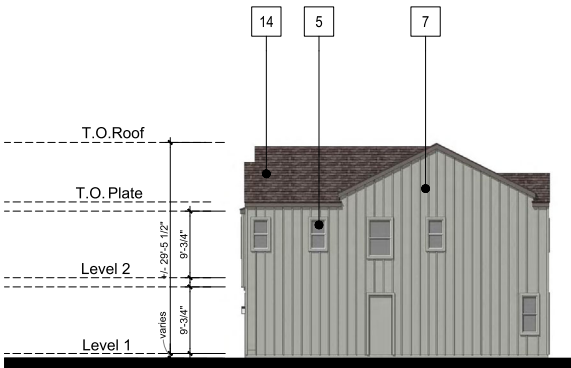
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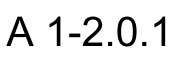
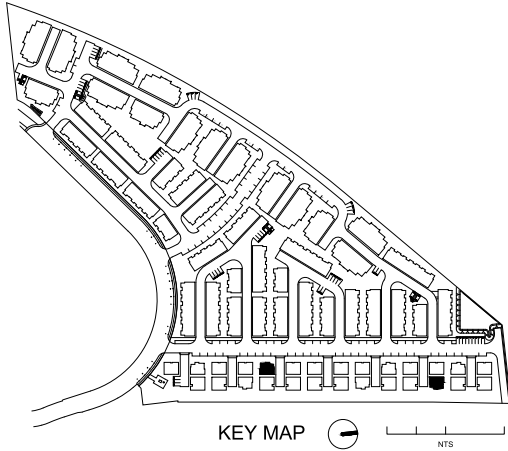
LEFT ELEVATION



REAR ELEVATION

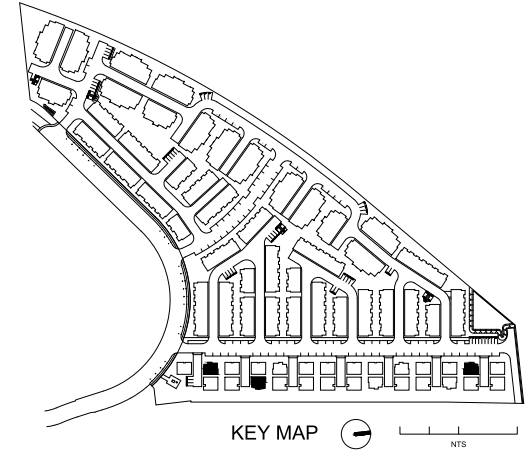
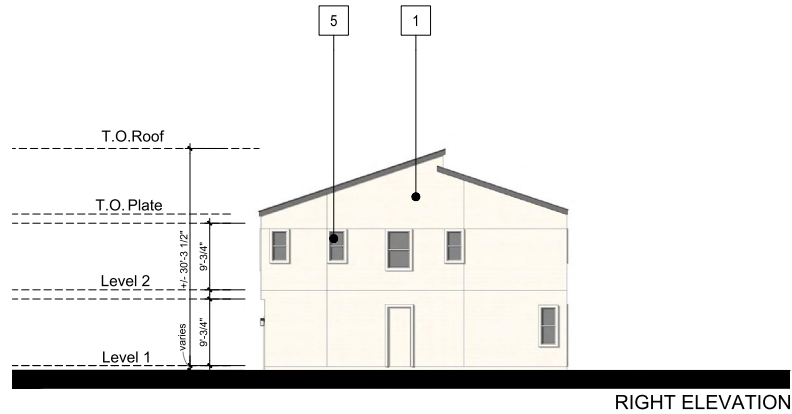
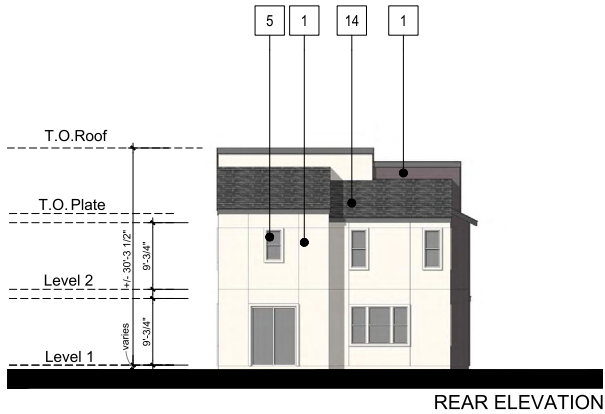
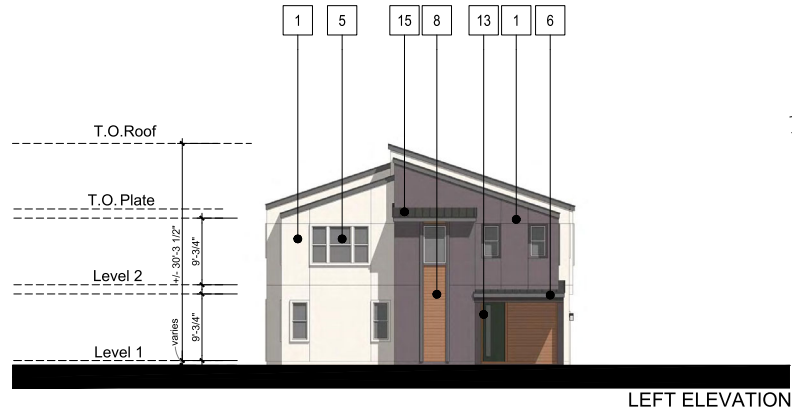
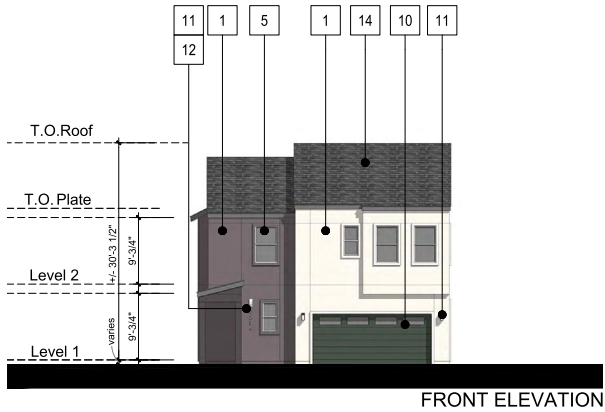


RIGHT ELEVATION



MATERIAL LEGEND

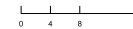
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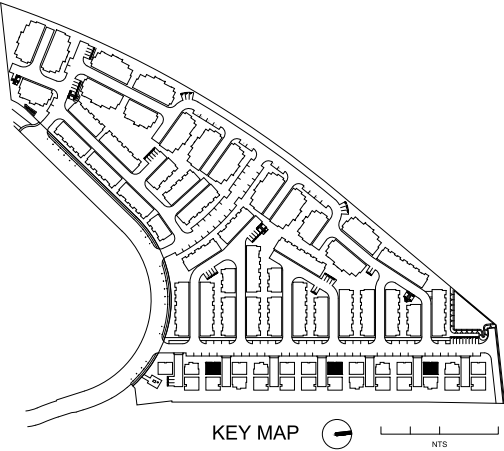
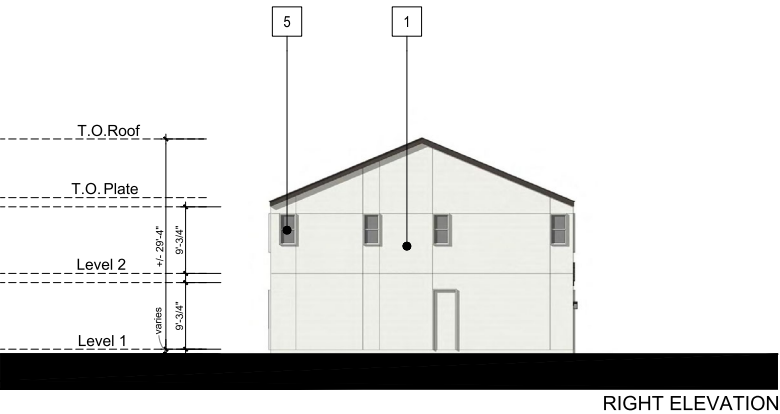
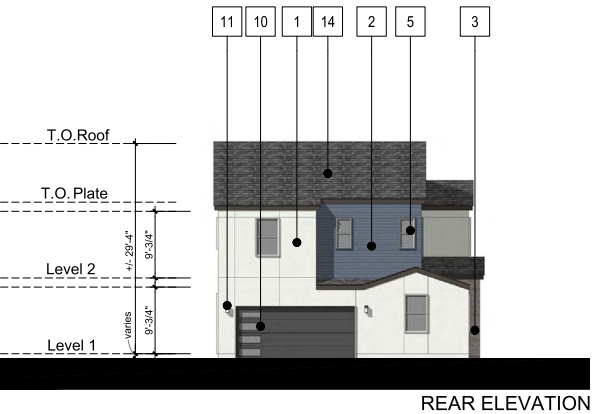
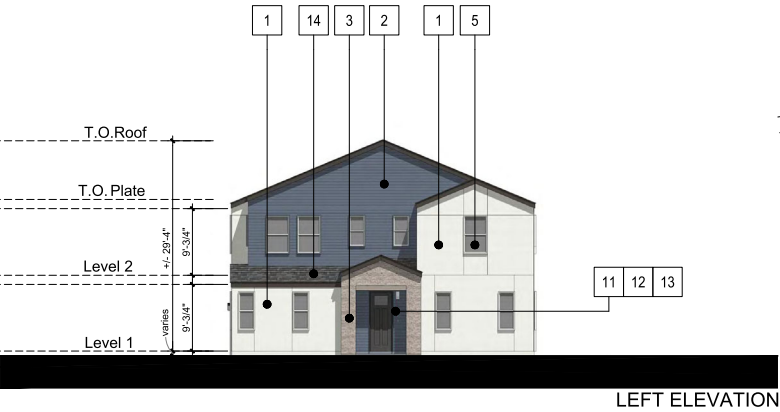
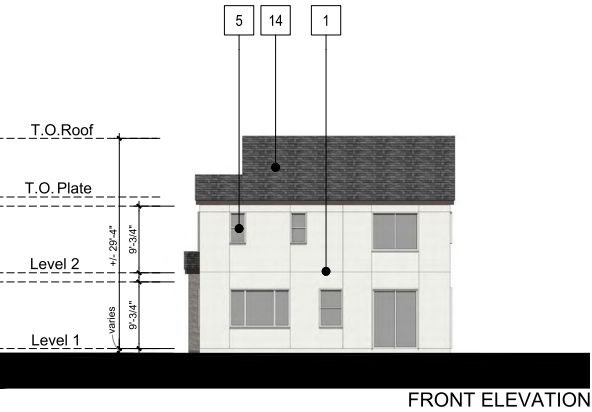


SFD- PLAN 1
STYLE 3

A 1-2.0.2

MATERIAL LEGEND

1. STUCCO	8. WOOD LOOK SIDING
2. CEMENTITIOUS HORIZONTAL SIDING	9. METAL RAILING
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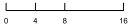
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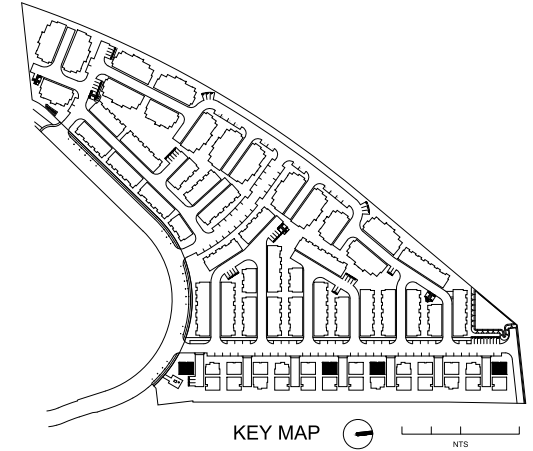
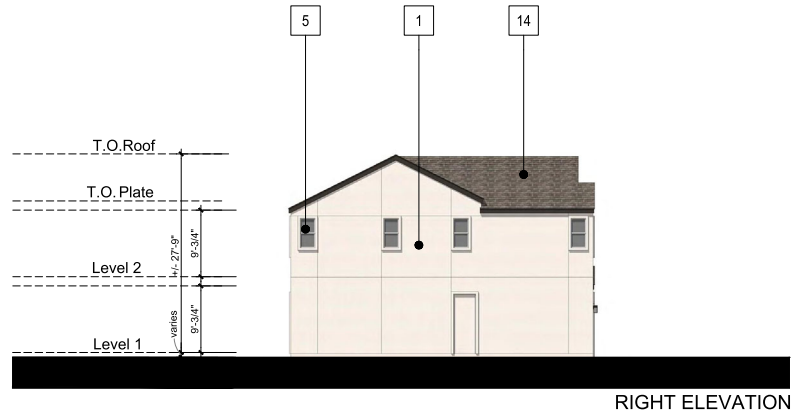
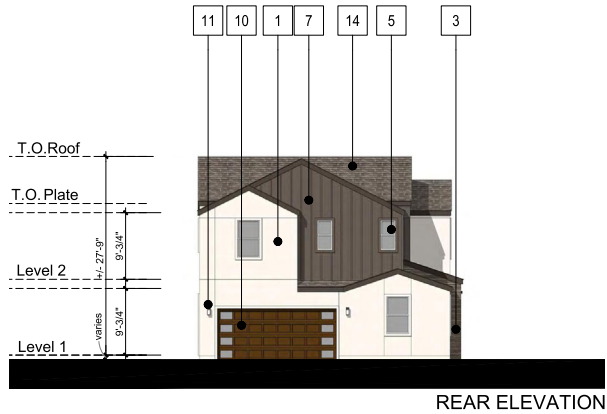
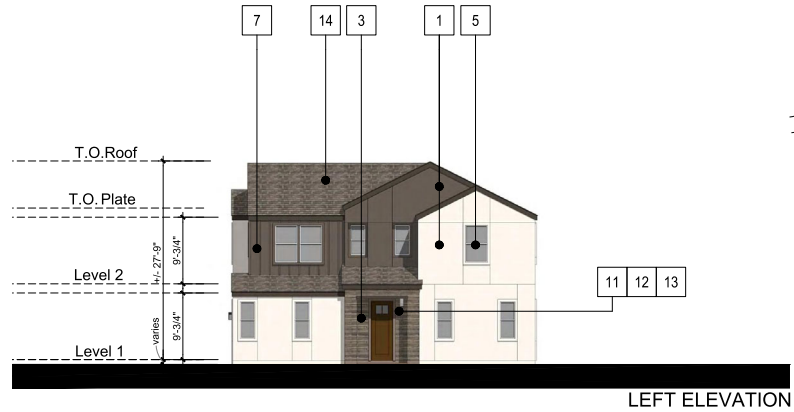
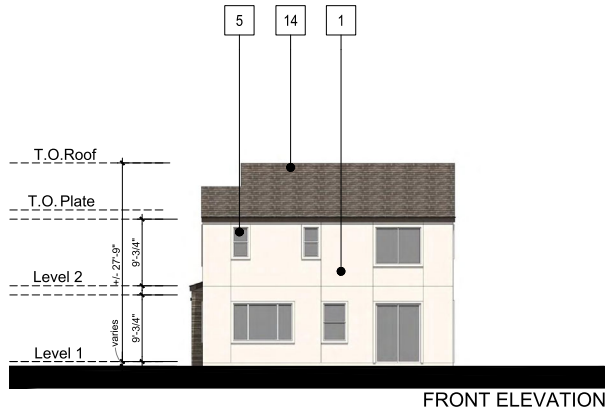
SFD- PLAN 2

STYLE 1

A 1-2.1.0

MATERIAL LEGEND

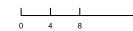
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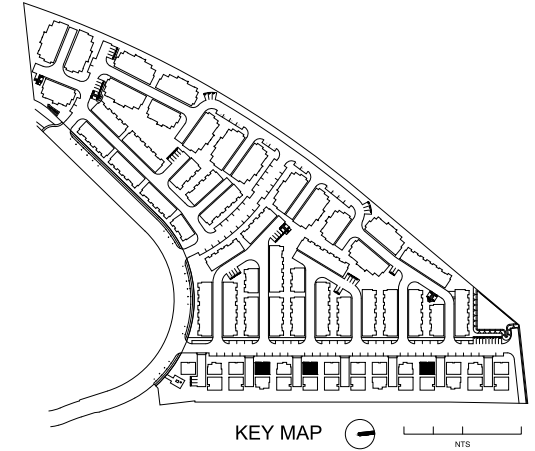
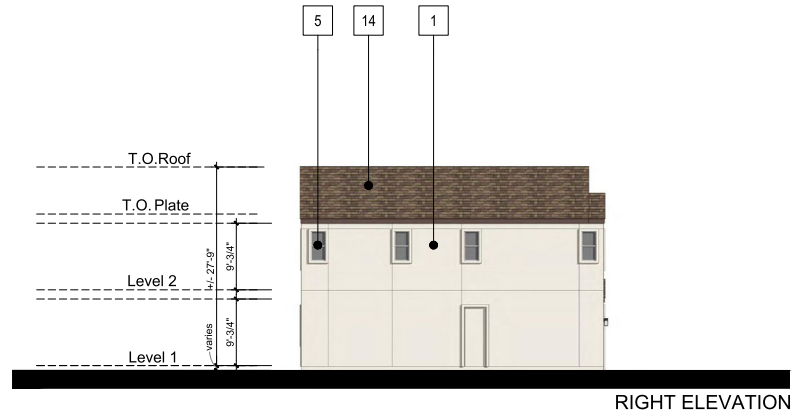
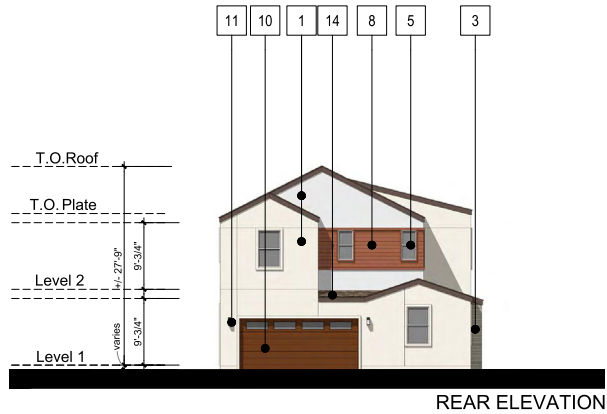
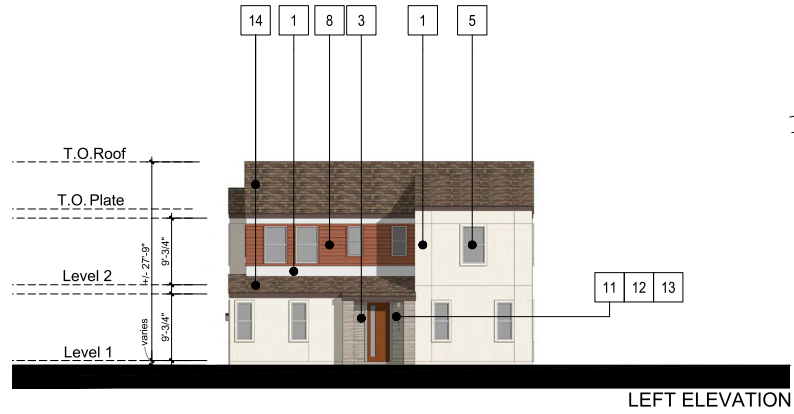
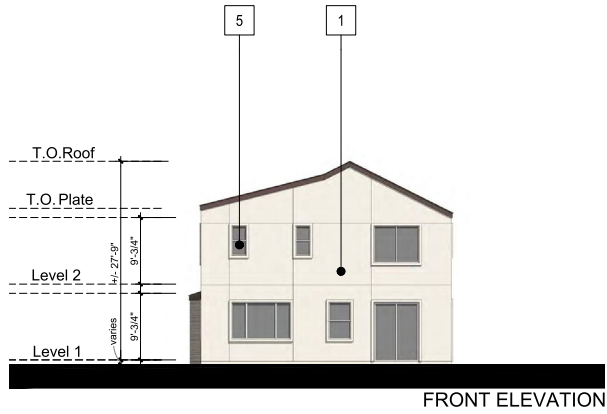


SFD- PLAN 2
STYLE 2

A 1-2.1.1

MATERIAL LEGEND

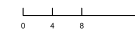
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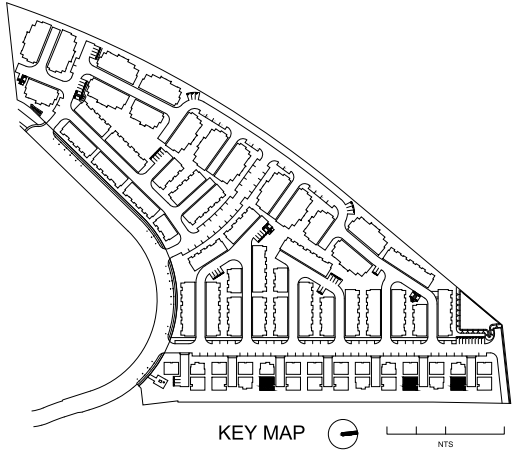
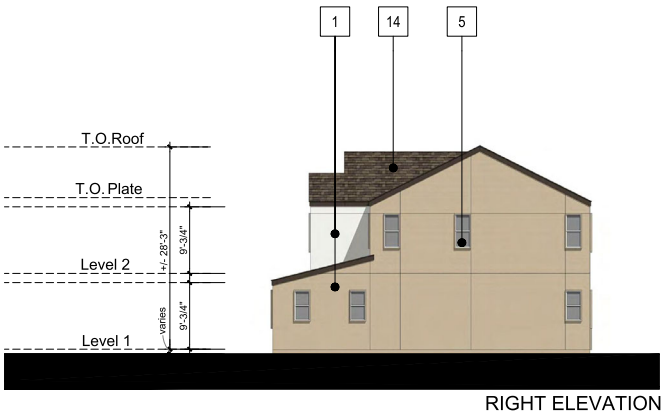
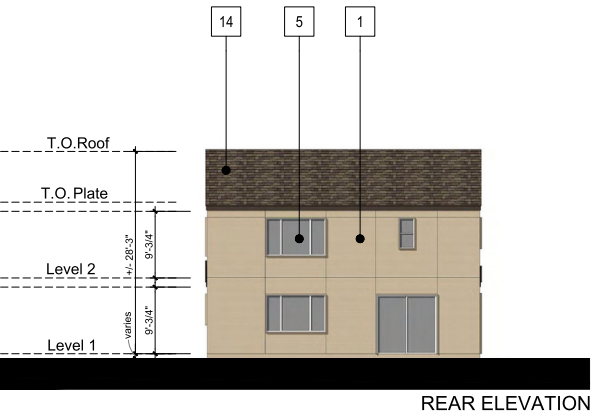
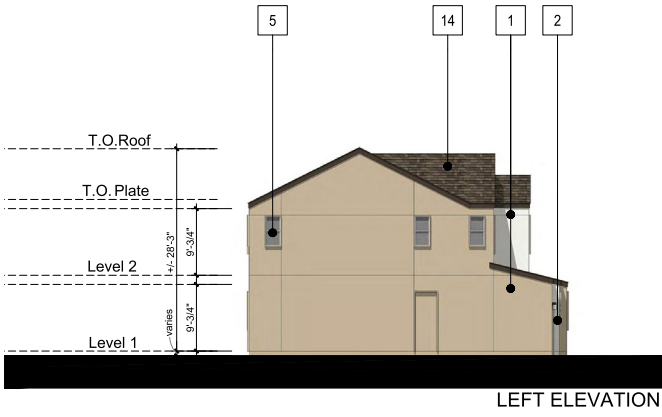
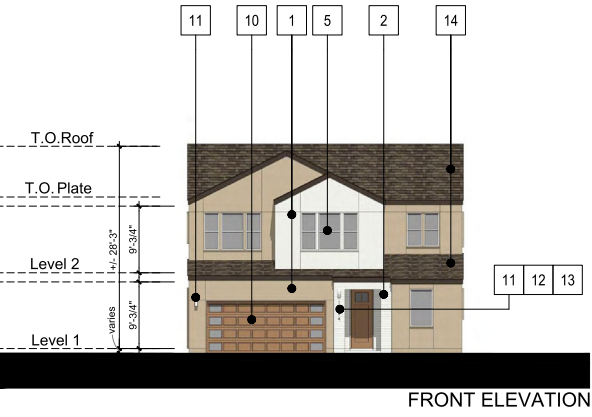


SFD- PLAN 2
STYLE 3

A 1-2.1.2

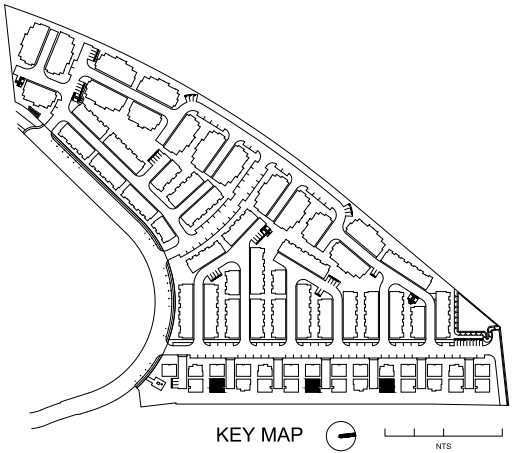
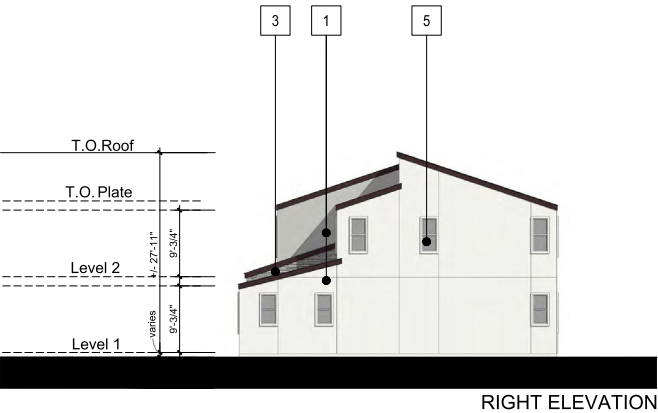
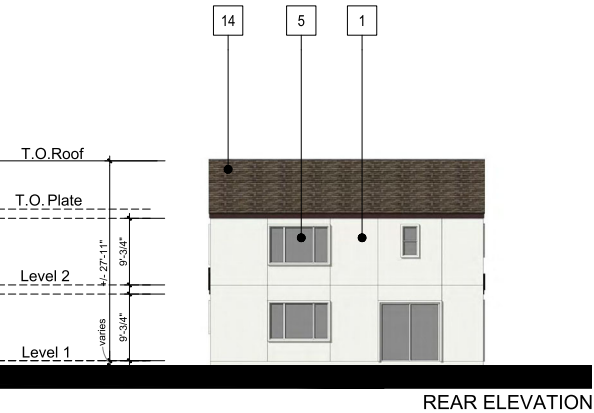
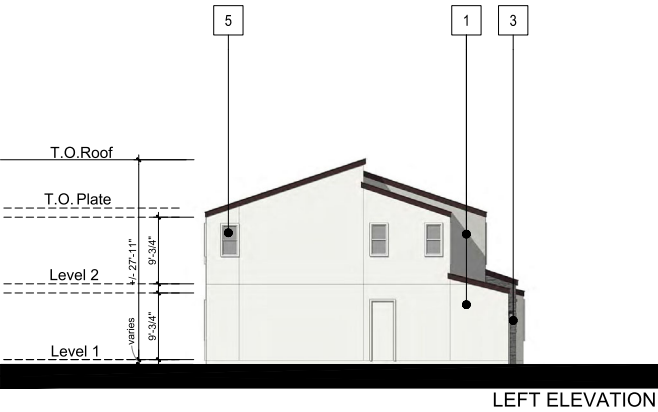
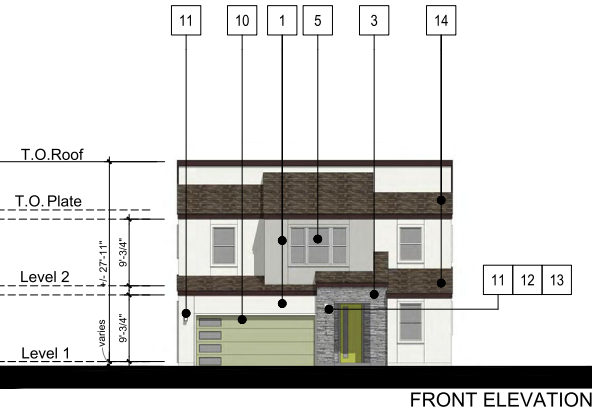
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MATERIAL LEGEND

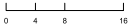
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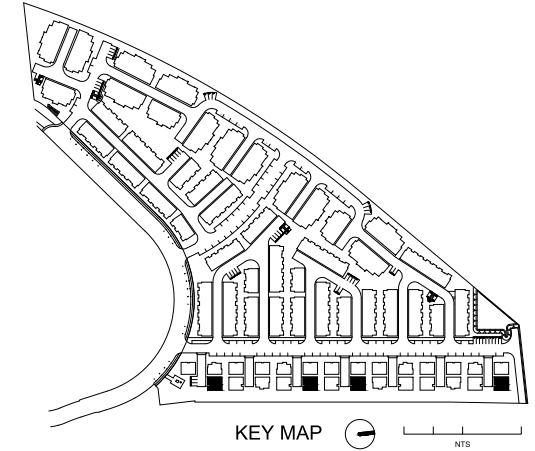
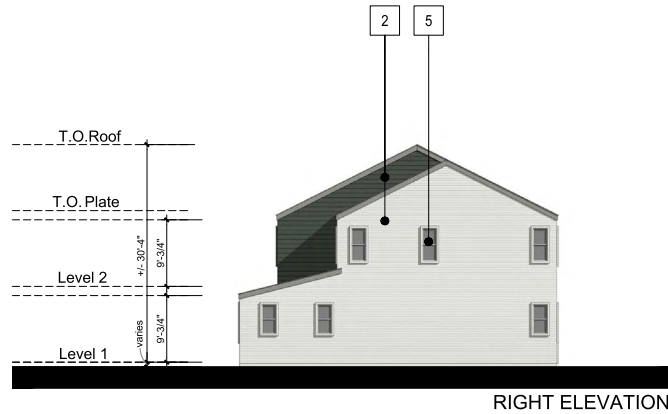
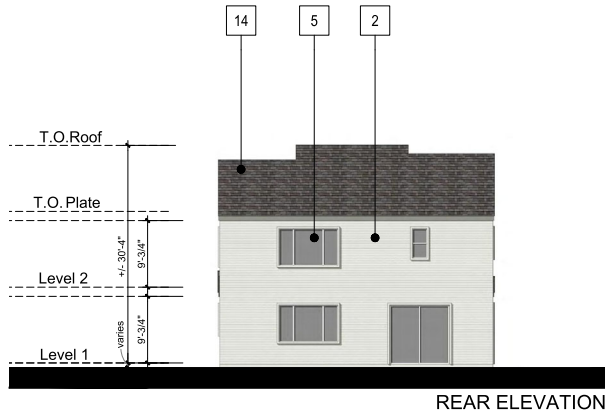
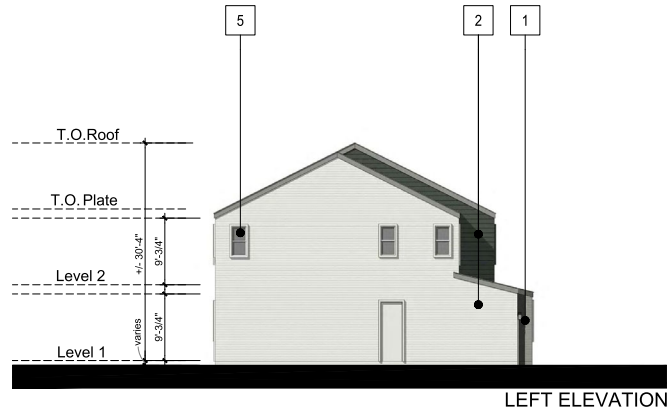
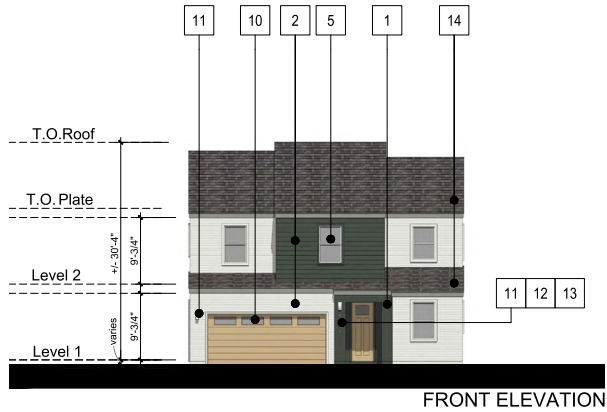


SFD- PLAN 3
STYLE 2

A 1-2.2.1

MATERIAL LEGEND

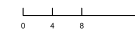
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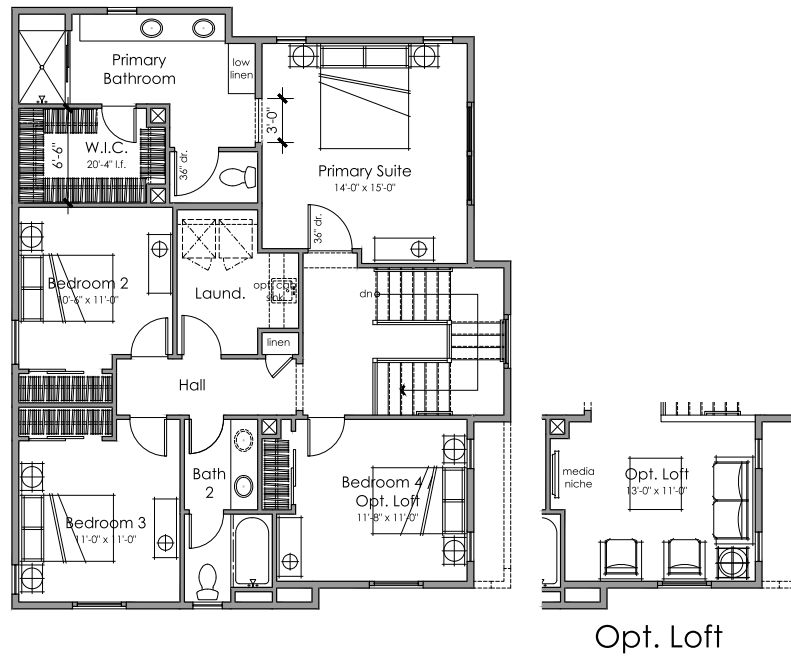
Campbell Technology Park
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DESIGN REVIEW
JANUARY 16, 2024

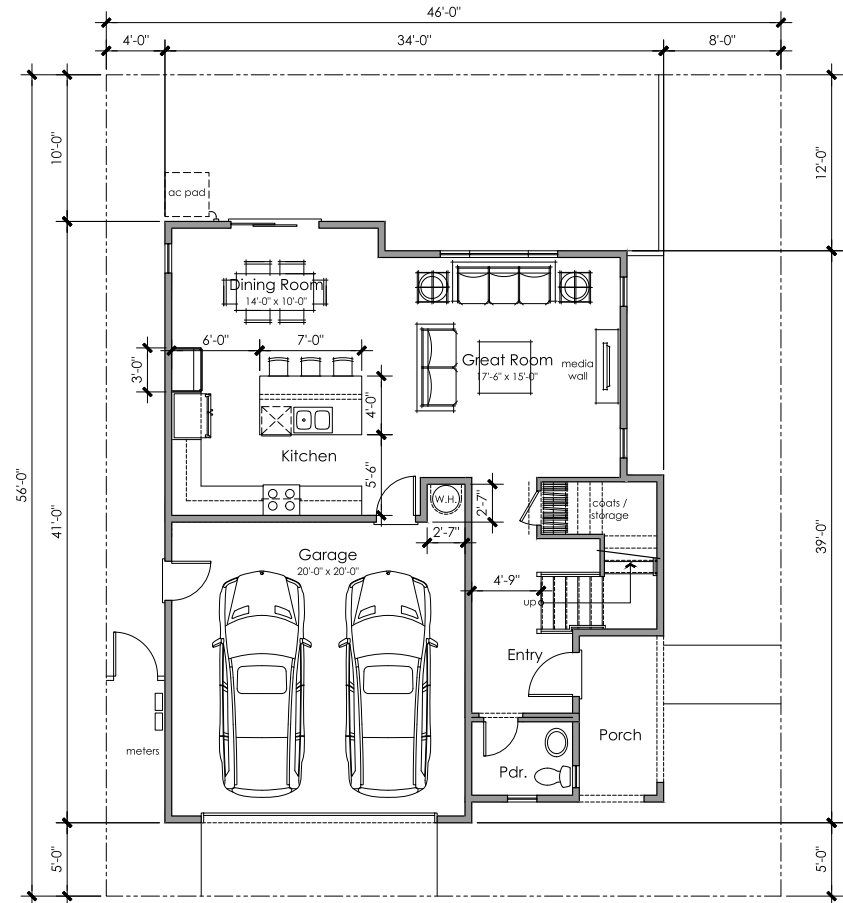


SFD- PLAN 3
STYLE 3

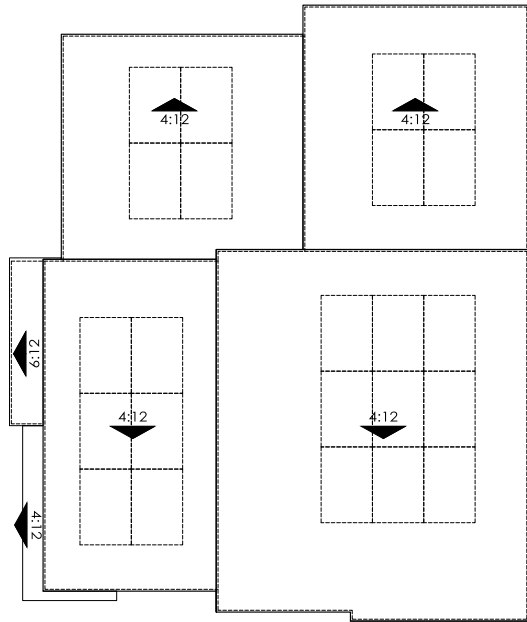
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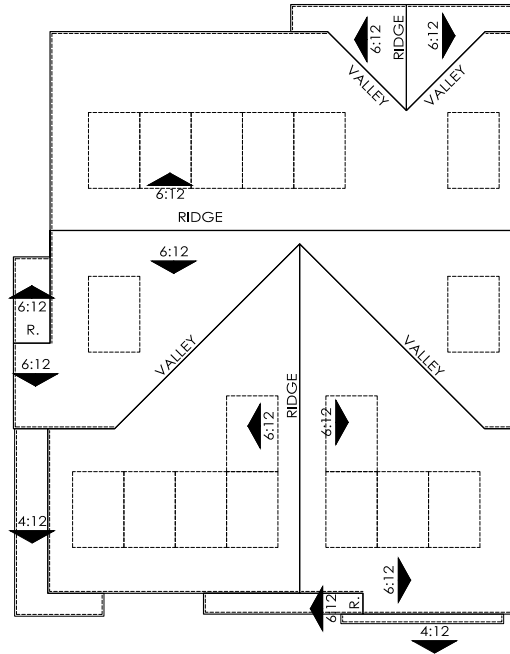
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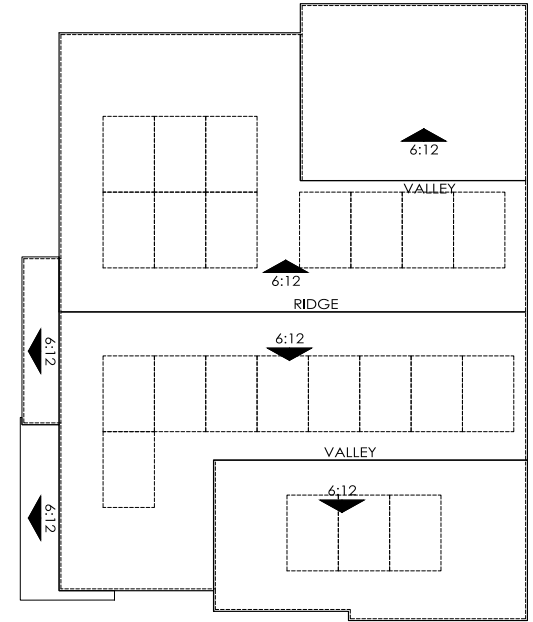
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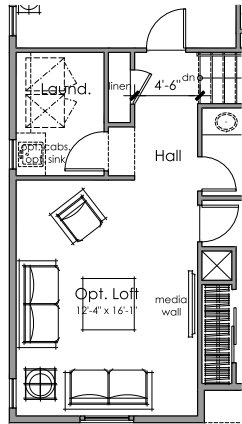
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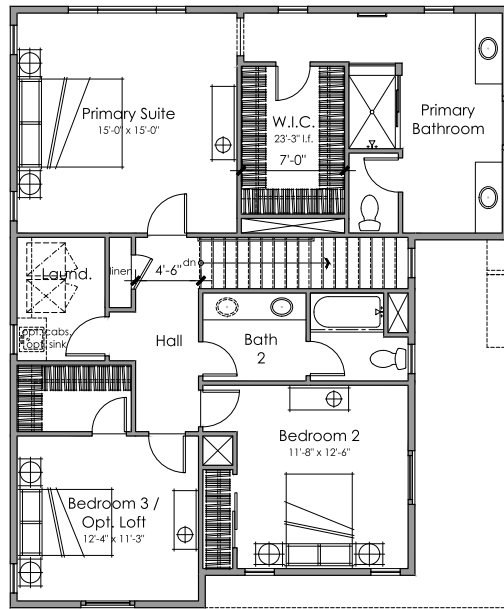
PLAN 1- STYLE B



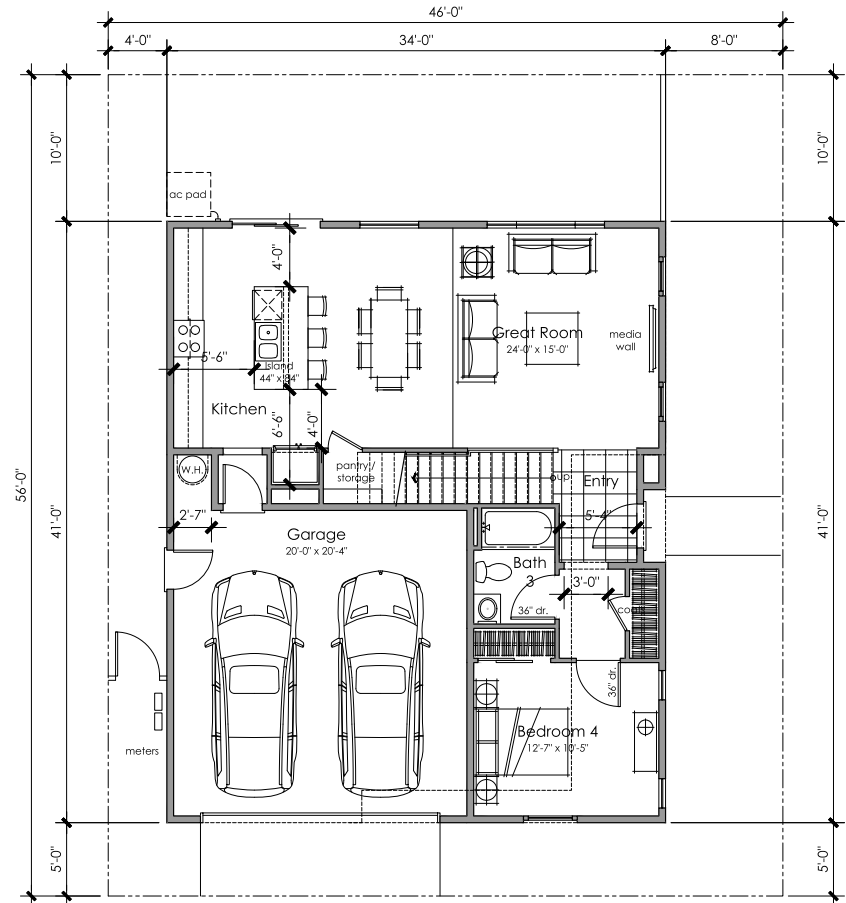
PLAN 1- STYLE A



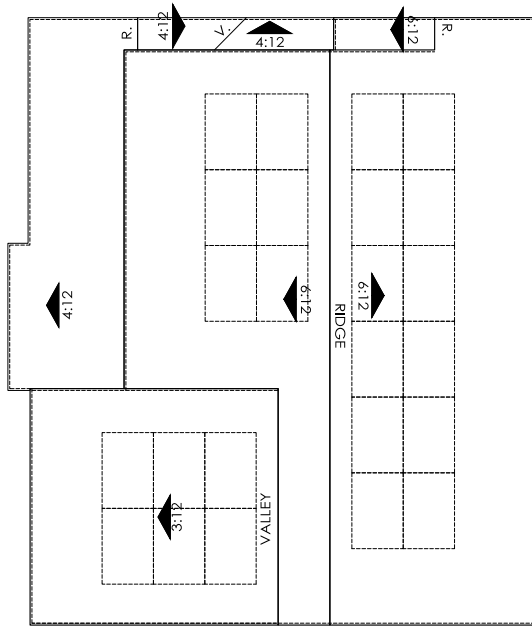
Opt. Loft



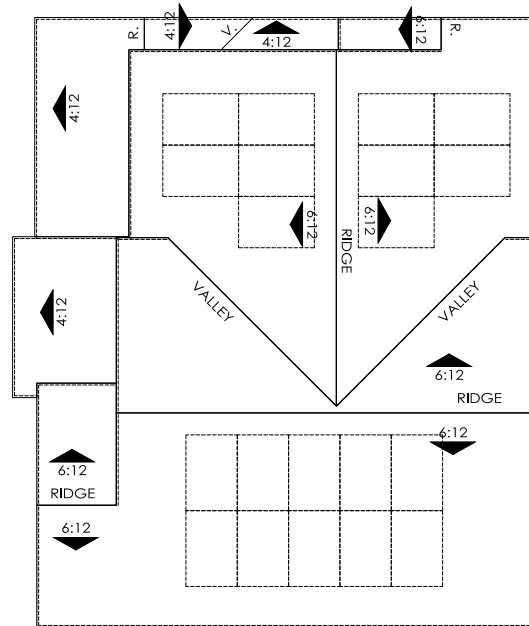
Second Floor



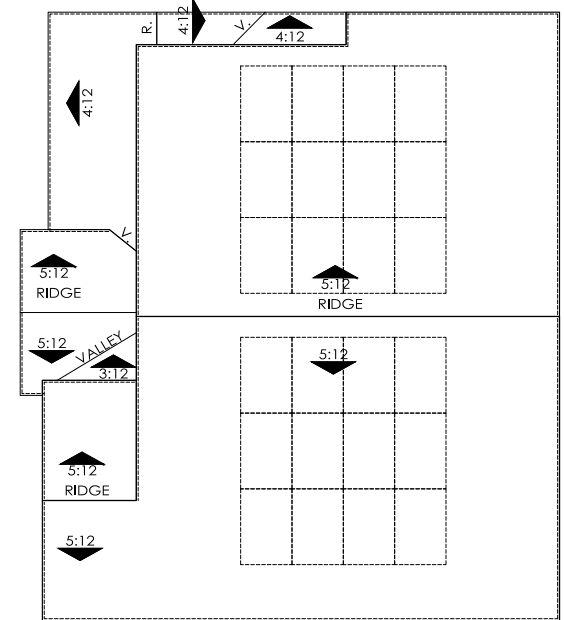
First Floor



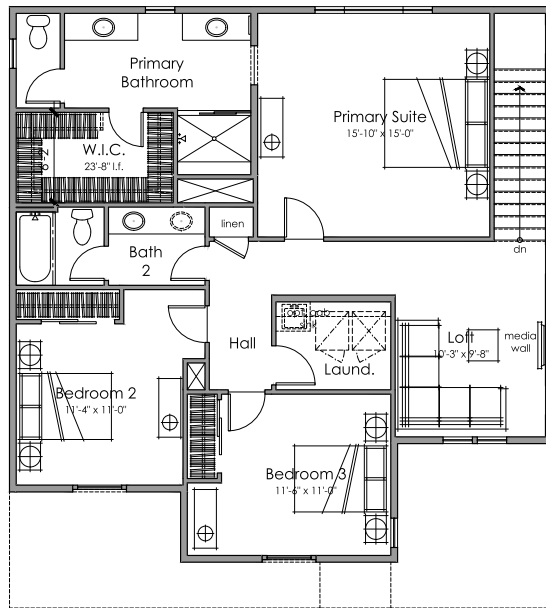
PLAN 2- STYLE C



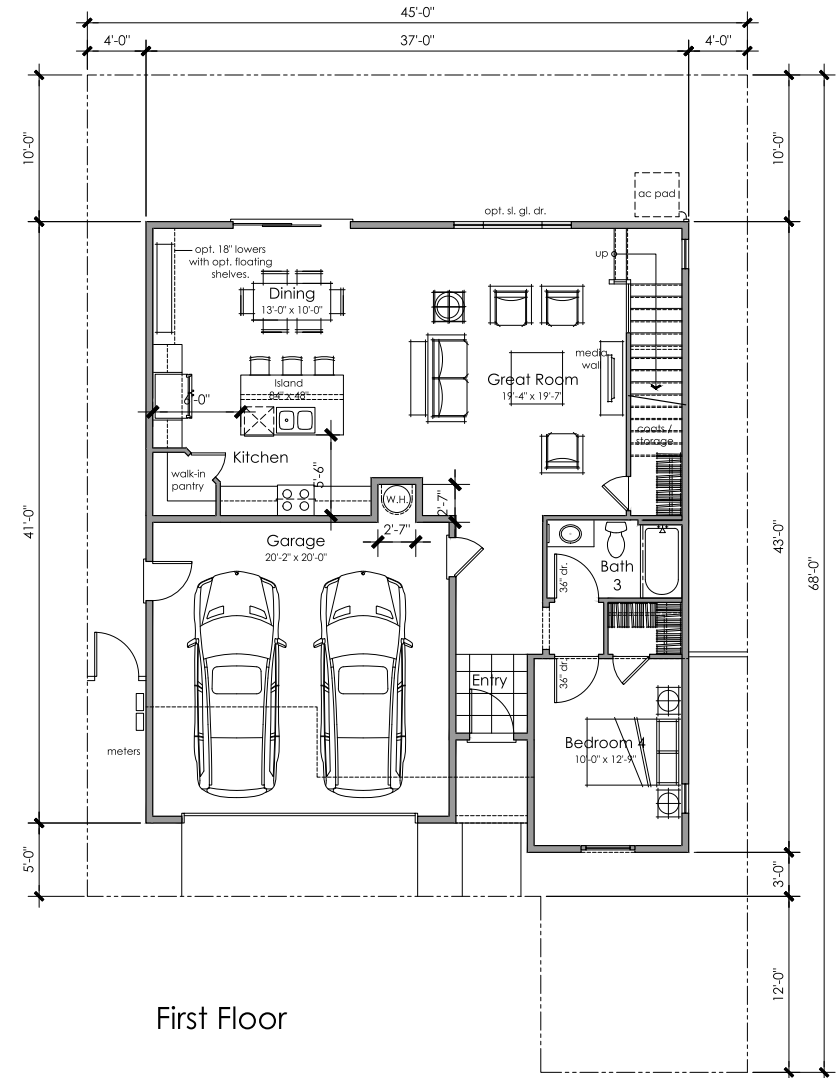
PLAN 2- STYLE B



PLAN 2- STYLE A



Second Floor



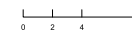
First Floor



Campbell Technology Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

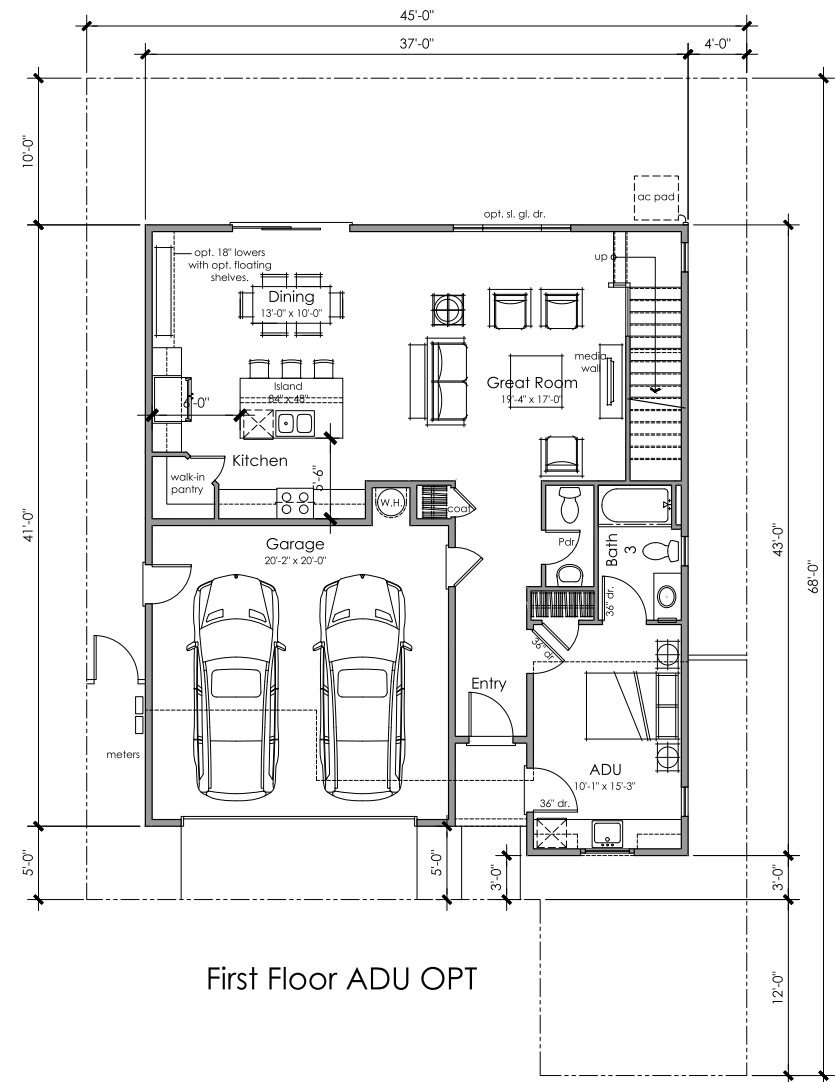
DESIGN REVIEW
JANUARY 16, 2024

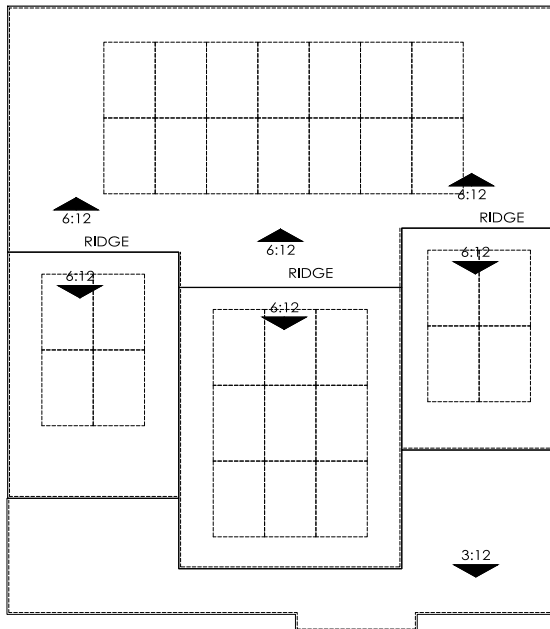


4 BEDROOM + LOFT
3 BATH
2273 TOTAL S.F.
433 GARAGE S.F.

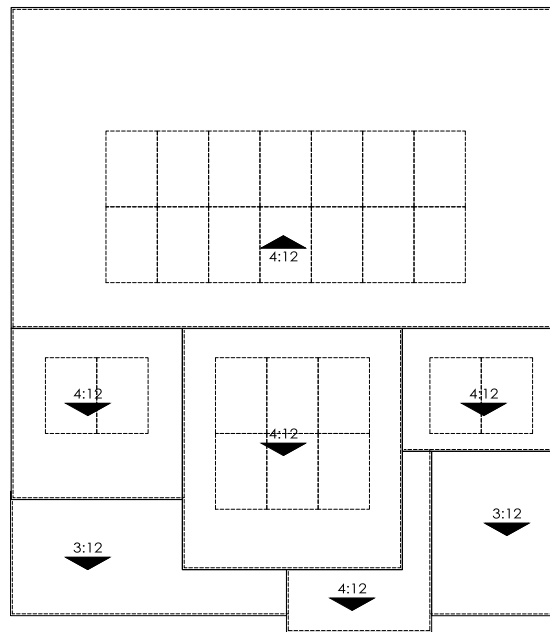
SFD- PLAN 3
STYLE 1

A 1-3.2.0

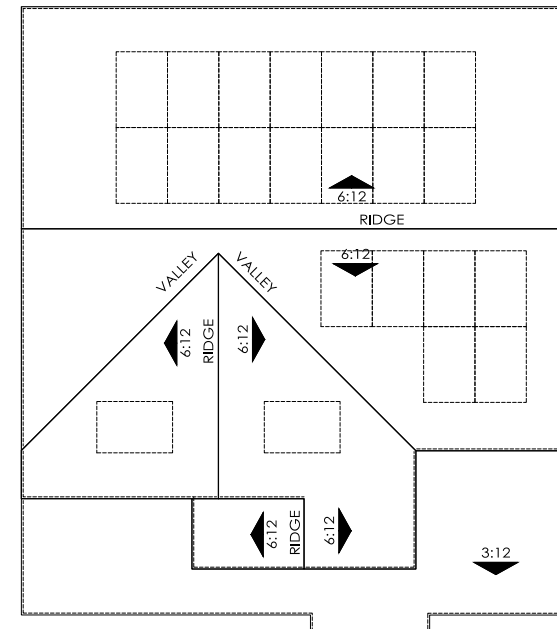




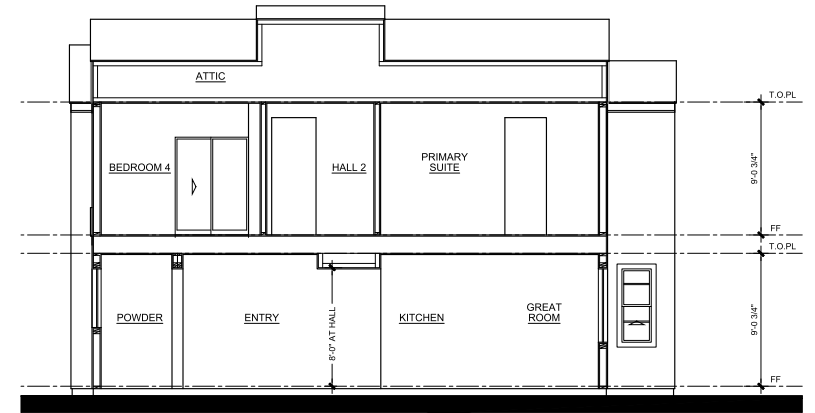
PLAN 3- STYLE C



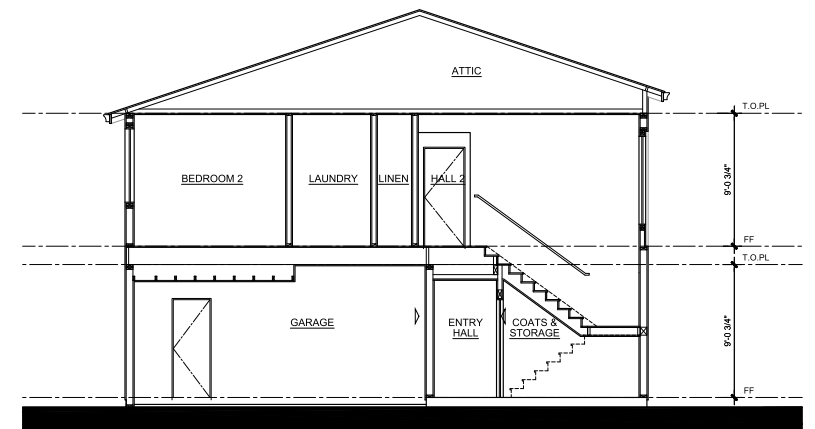
PLAN 3- STYLE B



PLAN 3- STYLE A



SECTION 2



SECTION 1



CARLSON,
BARBEE &
GIBSON, INC.

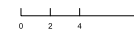


LANDSCAPE ARCHITECTURE
LAND PLANNING URBAN DESIGN

Campbell
Technology
Park LLC

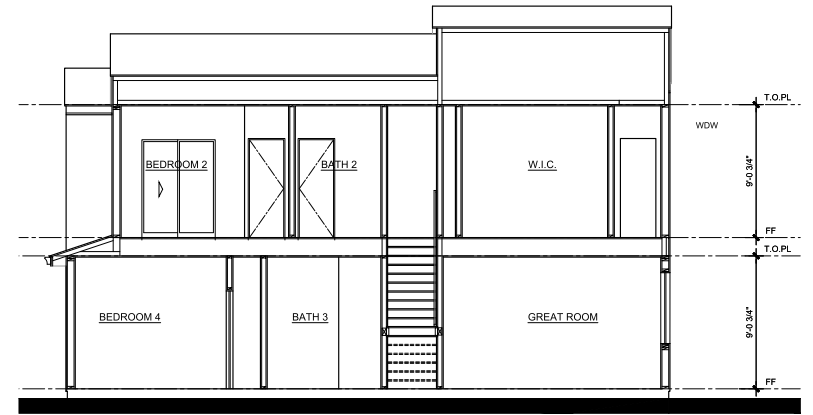
Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
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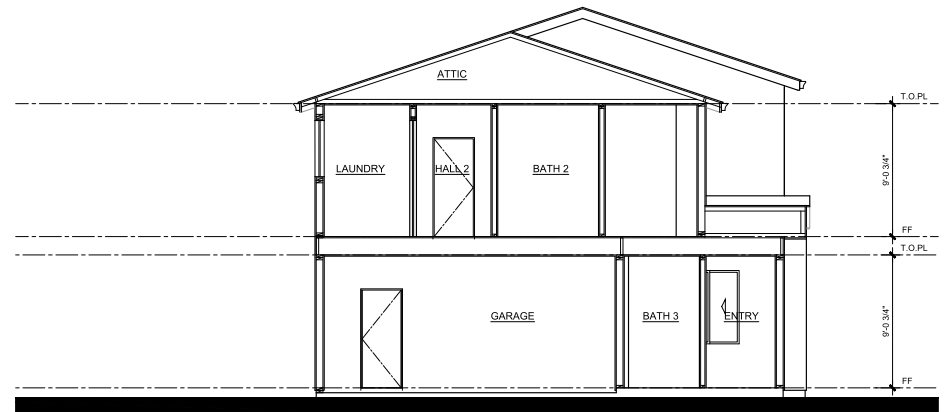


SFD- PLAN 1
SECTIONS

A 1-4.0.0



SECTION 2



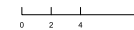
SECTION 1



**Campbell
Technology
Park LLC**

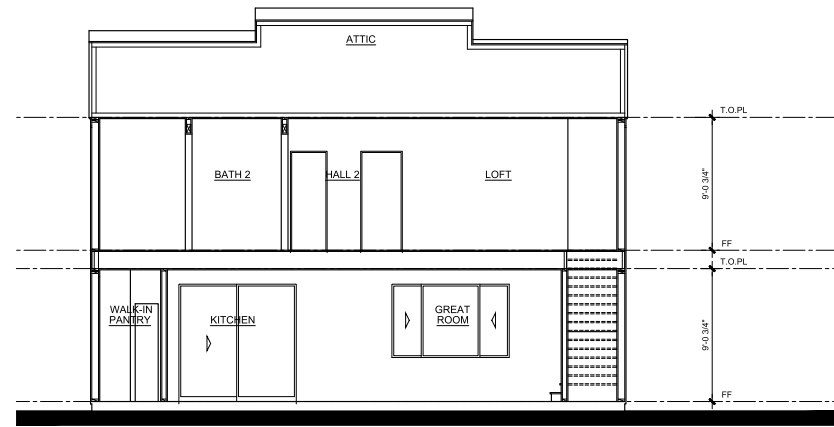
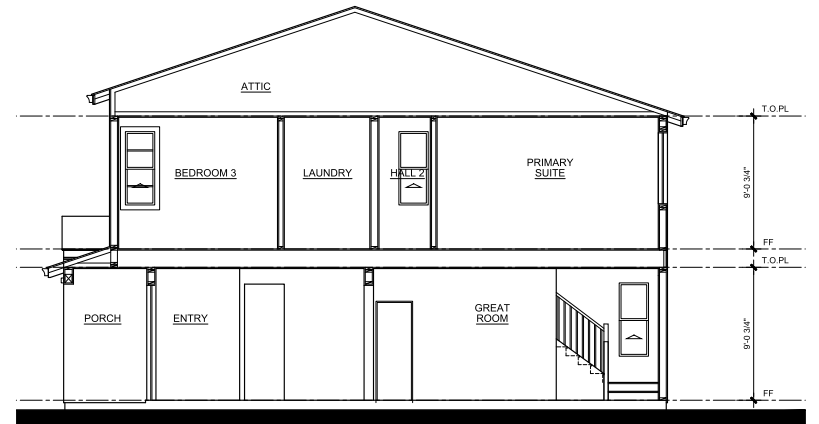
Campbell Technology Park
Campbell, CA # 2023-0039

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JANUARY 16, 2024



SFD- PLAN 2
SECTIONS

A 1-4.0.1



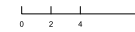
First Floor



Campbell
Technology
Park LLC

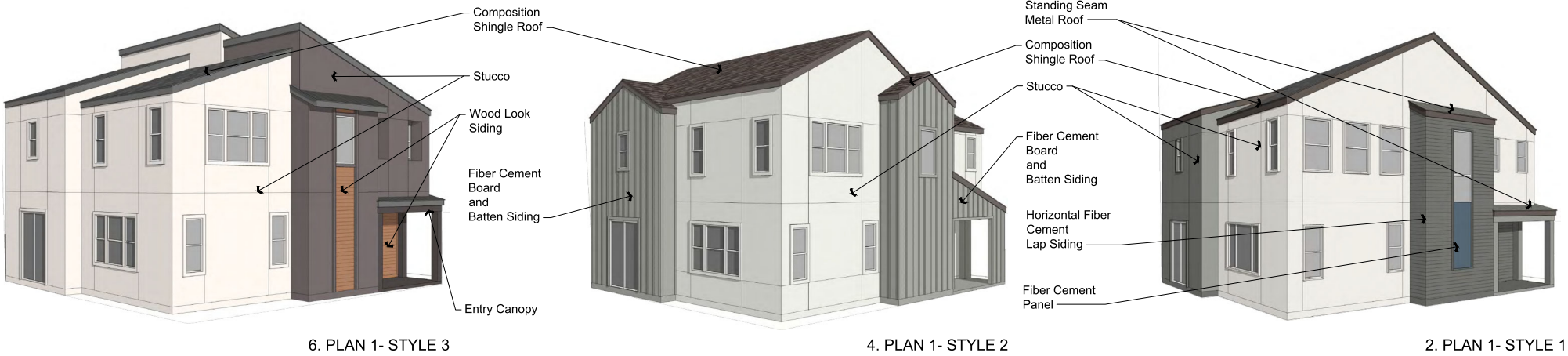
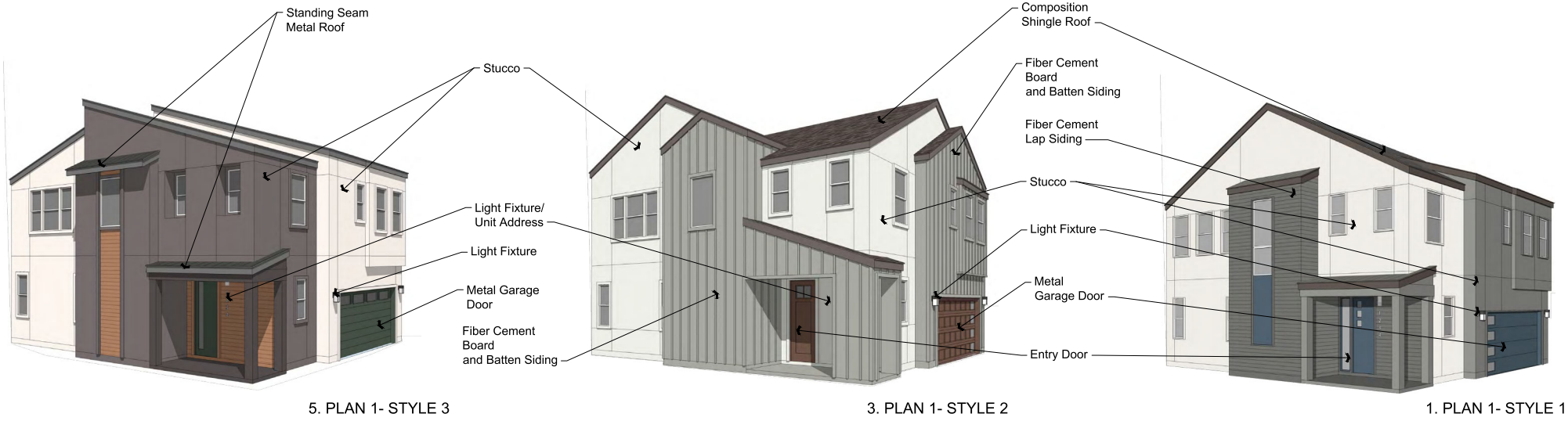
Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024



SFD- PLAN 3
SECTIONS

A 1-4.0.2





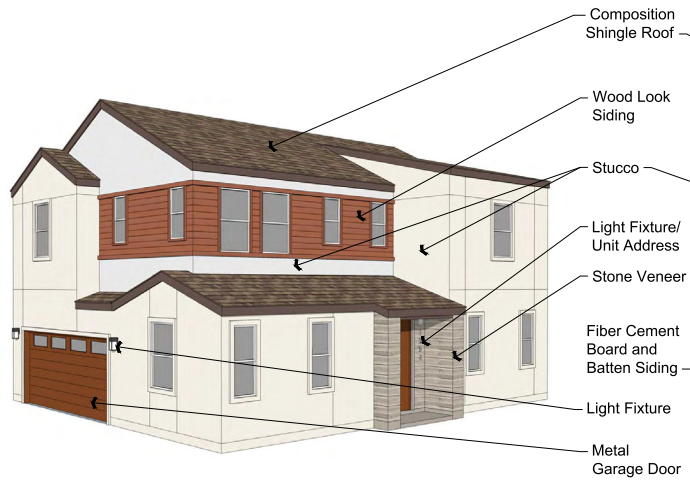
5. PLAN 2- STYLE 3



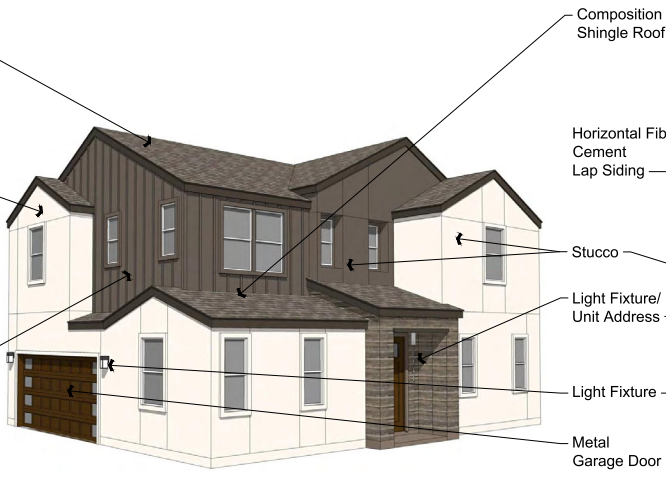
3. PLAN 2- STYLE 2



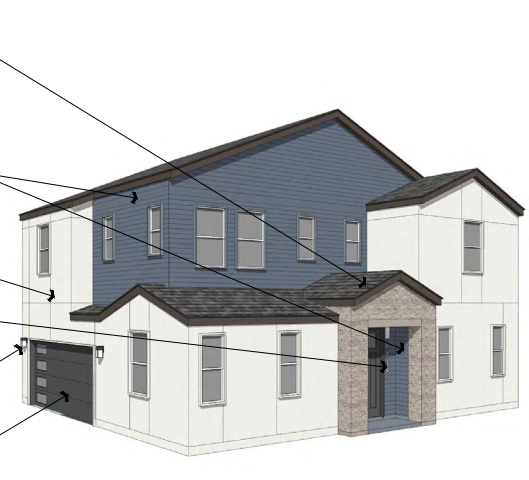
1. PLAN 2- STYLE 1



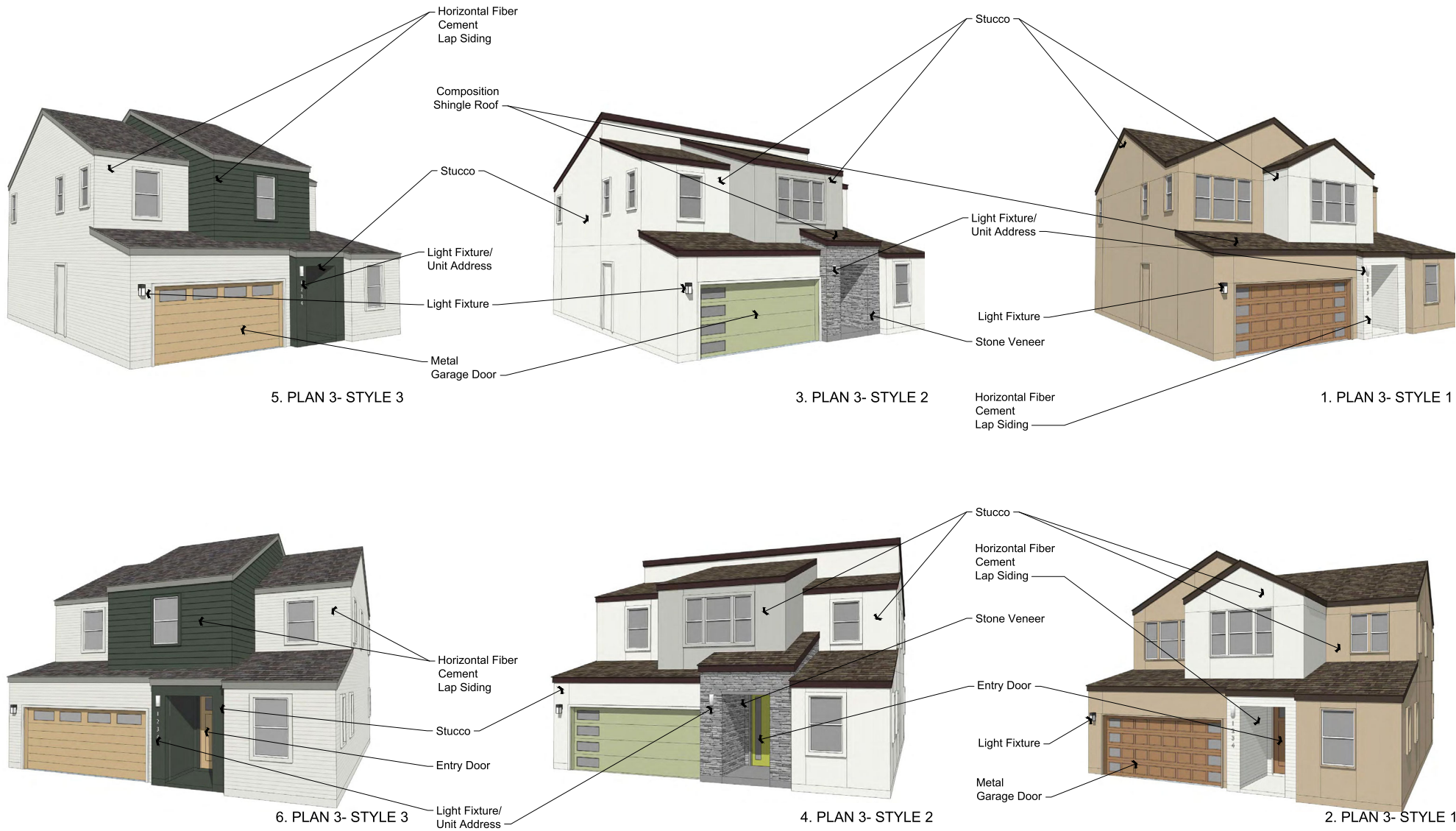
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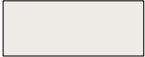
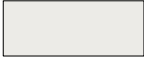
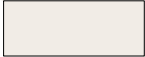
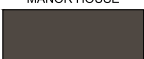
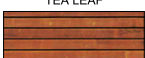
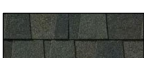


4. PLAN 2- STYLE 2



2. PLAN 2- STYLE 1



	PLAN 1			PLAN 2		
	STYLE 1	STYLE 2	STYLE 3	STYLE 1	STYLE 2	STYLE 3
STUCCO BODY 1 / TRIM 1	 SW 9582 WHITE SAND	 SW 7006 EXTRA WHITE	 SW 7757 HIGH REFLECTIVE WHITE	 SW 9542 NATURAL WHITE	 SW 7757 HIGH REFLECTIVE WHITE	 SW 7000 IBIS WHITE
HORIZONTAL LAP SIDING/ TRIM 2	 SW 9164 ILLUSIVE GREEN	N/A	N/A	 SW 6250 GRANITE PEAK	N/A	N/A
STUCCO BODY 2/ TRIM 3	 SW 2849 WESTCHESTER GRAY	N/A	 SW 6271 EXPRESSIVE PLUM	N/A	 SW 7505 MANOR HOUSE	 SW 9676 GREEN GLIMPSE
BOARD AND BATTEN SIDING/ TRIM 4	N/A	 SW 6185 ESCAPE GRAY	N/A	N/A	 SW 7505 MANOR HOUSE	N/A
RAKE	 SW 9570 IRONCLAD	 SW 6005 FOLKSTONE	 SW 6216 JASPER	 SW 7048 URBANE BRONZE	 SW 7020 BLACK FOX	 SW 9604 TEA LEAF
WOOD LOOK SIDING 1/ TRIM 5	N/A	N/A	 WOODTONE RUSTICSERIES SUMMER WHEAT	N/A	N/A	 WOODTONE RUSTICSERIES OLD CHERRY
SHINGLE ROOF	 TIMBERLINE HD OYSTER GRAY	 TIMBERLINE HD BARKWOOD	 TIMBERLINE HD OYSTER GRAY	 TIMBERLINE HD APPALACHIAN SKY	 TIMBERLINE HD MISSION BROWN	 TIMBERLINE HD GOLDEN HARVERST
STANDING SEAM METAL ROOF	 ZINC GRAY	N/A	 MEDIUM BRONZE	N/A	N/A	N/A
STONE VENEER	N/A	N/A	N/A	 STACKED STONE ALDERWOOD	 VINTAGE RANCH PARCHWOOD	 VINTAGE RANCH STRATUSWOOD
ENTRY DOOR	 SW 9639 RAIN CLOUD	 SW 7520 DARK BROWN	 SW 6452 INLAND	 SW 9154 PERLE NOIR	 SW 6097 STURDY BROWN	 SW 0008 CAJUN RED
GARAGE DOOR	 SW 9639 RAIN CLOUD	 SW 7520 DARK BROWN	 SW 6452 INLAND	 SW 9154 PERLE NOIR	 SW 6097 STURDY BROWN	 SW 0008 CAJUN RED

Manufacturers

Paint - Sherwin Williams or Equal
Garage door - Clopay garage doors or Equal
Entry door - Therma Tru or Equal
Wood Look Siding: Woodtone siding or Equal
Composition Shingle Roof: GAF Roofing or Equal
Stone: El Dorado Stone



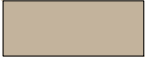
**Campbell
Technology
Park LLC**

Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

SFD- COLORS & MATERIALS

A 1-6.0.0

	PLAN 3		
	STYLE 1	STYLE 2	STYLE 3
STUCCO BODY 1 / TRIM 1/ HORIZONTAL LAP SIDING 1	 SW 7530 BARCELONA BEIGE	 SW 9503 CHEVIOT	 SW 7730 FORESTWOOD
HORIZONTAL LAP SIDING 2/ TRIM 2	 SW 7006 EXTRA WHITE	N/A	 SW 6252 ICECUBE
STUCCO BODY 2/ TRIM 3	 SW 7006 EXTRA WHITE	 SW 9562 FORTITUDE	N/A
BOARD AND BATTEN SIDING/ TRIM 4	N/A	N/A	N/A
RAKE	 SW 9580 CRACKED PEPPER	 SW 7630 RAISIN	 SW 9164 ILLUSIVE GREEN
WOOD LOOK SIDING 1/ TRIM 5	N/A	N/A	N/A
SHINGLE ROOF	 TIMBERLINE HD BARKWOOD	 TIMBERLINE HD MISSION BROWN	 TIMBERLINE HD APPALACHIAN SKY
STANDING SEAM METAL ROOF	N/A	N/A	N/A
STONE VENEER	N/A	 CUT COARSE STONE CONNONADE	N/A
ENTRY DOOR	 SW 6109 HOPSACK	 SW 6717 LIME RICKEY	 SW 6122 CAMELBACK
GARAGE DOOR	 SW 6109 HOPSACK	 SW 6177 SOFTENED GREEN	 SW 6122 CAMELBACK

Manufacturers

Paint - Sherwin Williams or Equal
 Garage door - Clopay garage doors or Equal
 Entry door - Therma Tru or Equal
 Wood Look Siding: Woodtone siding or Equal
 Composition Shingle Roof: GAF Roofing or Equal
 Stone: El Dorado Stone



Campbell
Technology
Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

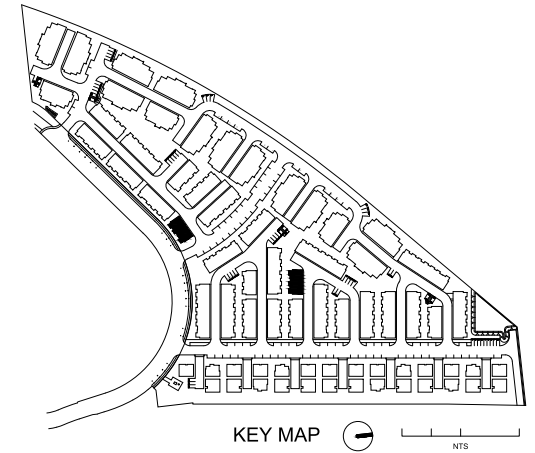
DESIGN REVIEW
JANUARY 16, 2024

SFD- COLORS & MATERIALS

A 1-6.0.1



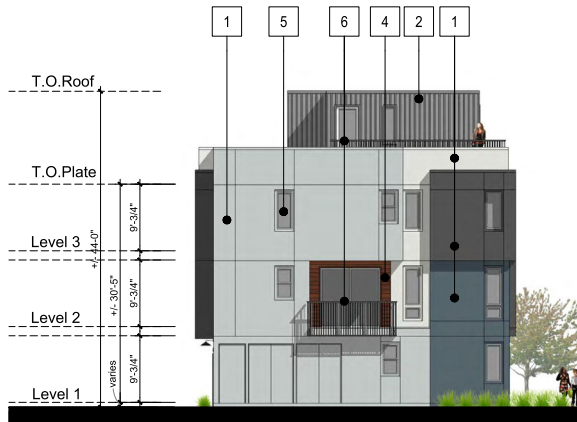
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



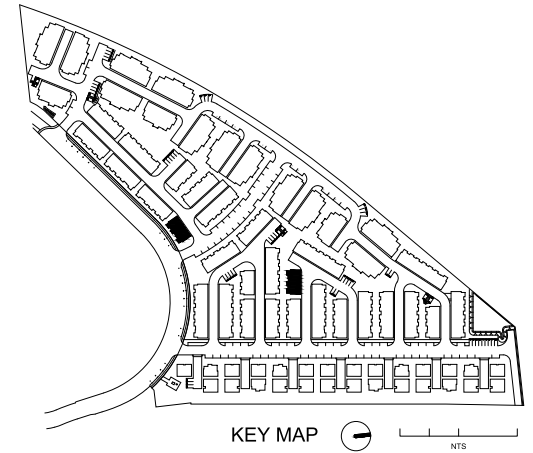
2. LEFT ELEVATION



1. FRONT ELEVATION



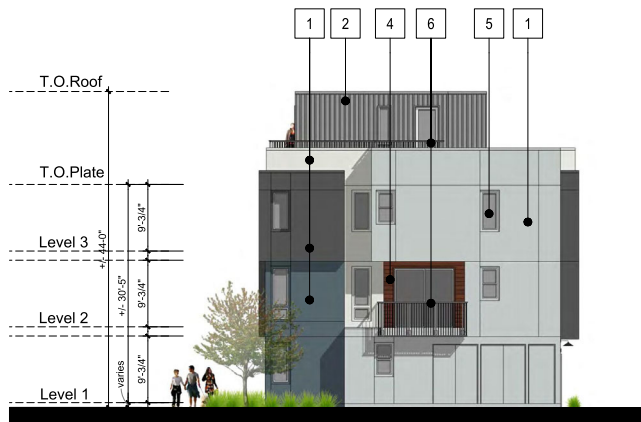
3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
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| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



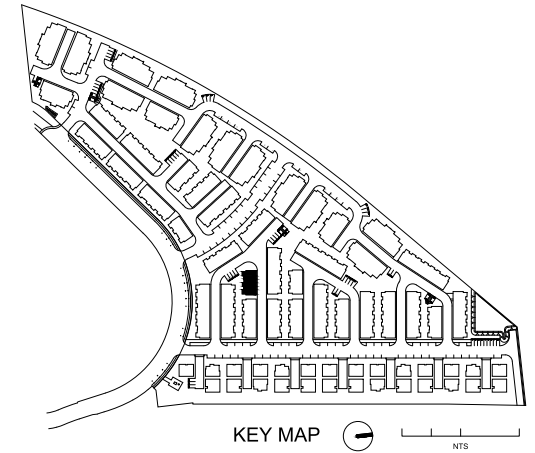
2. RIGHT ELEVATION



1. REAR ELEVATION



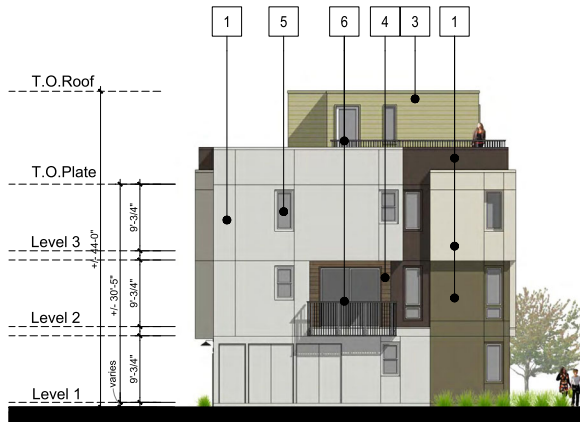
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



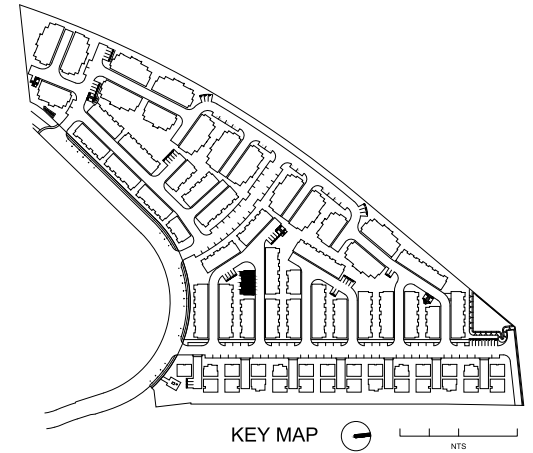
2. LEFT ELEVATION



1. FRONT ELEVATION



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



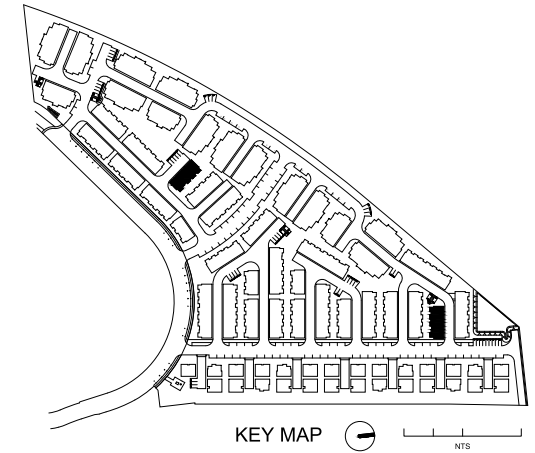
2. RIGHT ELEVATION



1. REAR ELEVATION



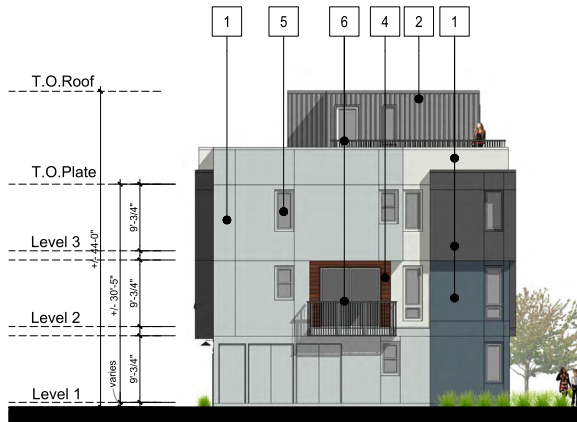
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
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| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



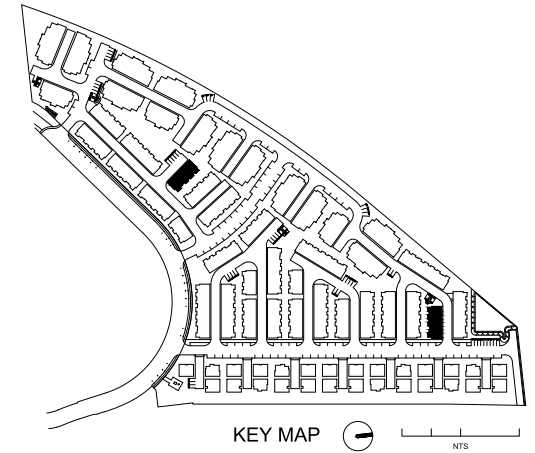
2. LEFT ELEVATION



1. FRONT ELEVATION



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



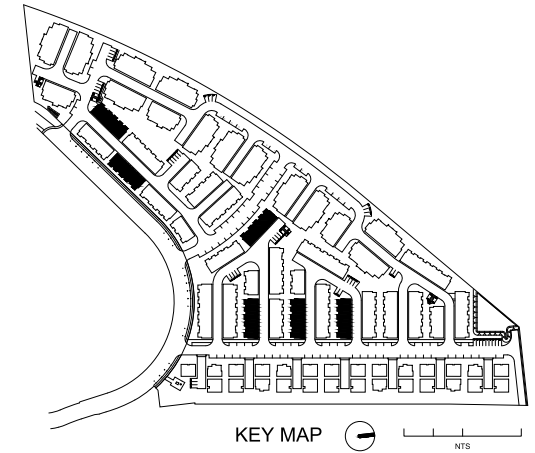
2. RIGHT ELEVATION



1. REAR ELEVATION



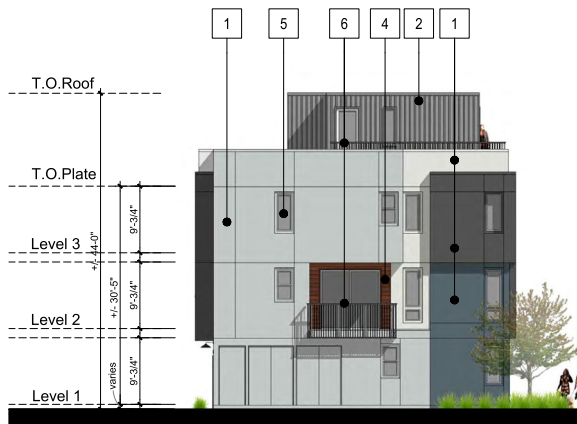
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
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| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



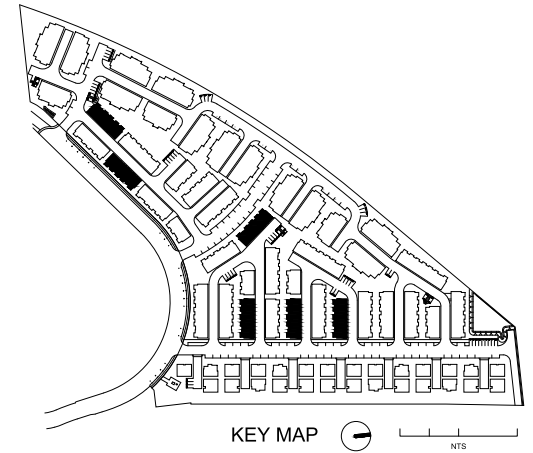
2. LEFT ELEVATION



1. FRONT ELEVATION



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
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| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



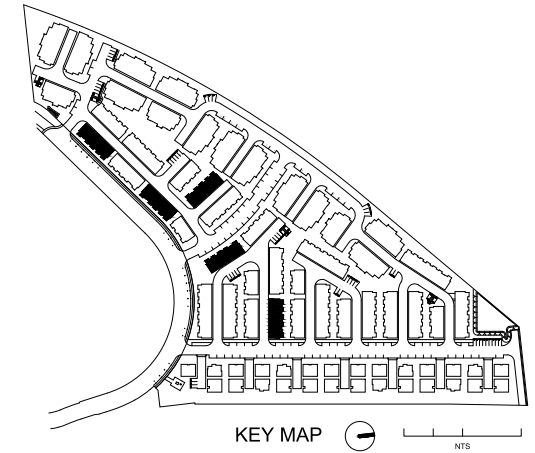
2. RIGHT ELEVATION



1. REAR ELEVATION



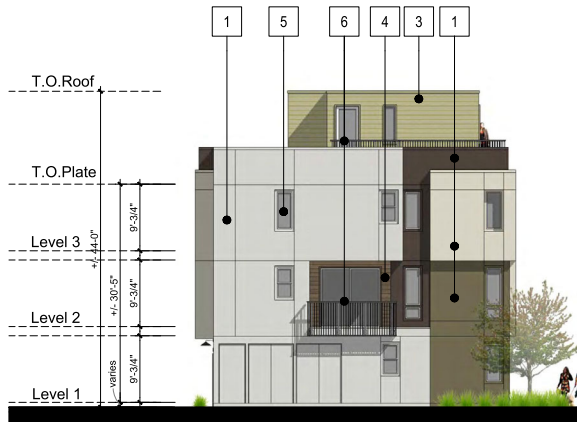
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



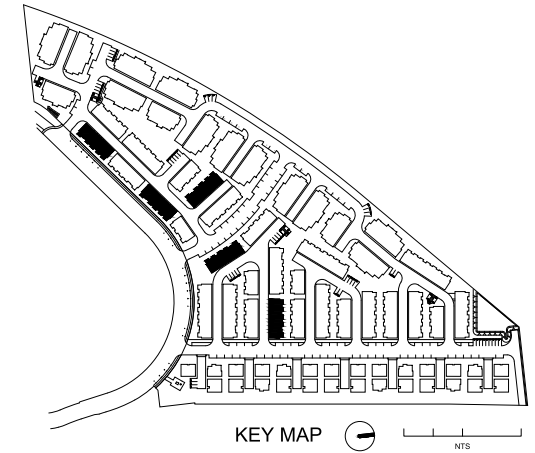
2. LEFT ELEVATION



1. FRONT ELEVATION



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
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| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



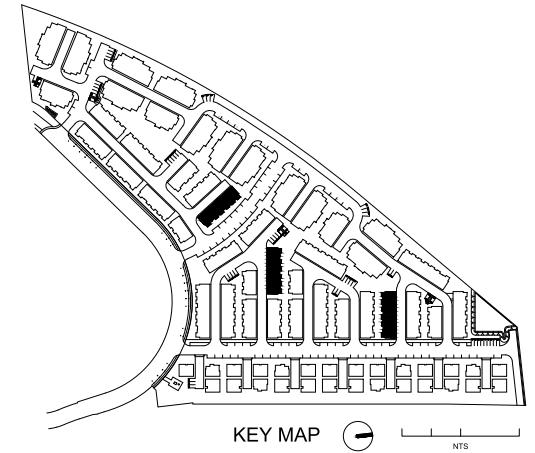
2. RIGHT ELEVATION



1. REAR ELEVATION



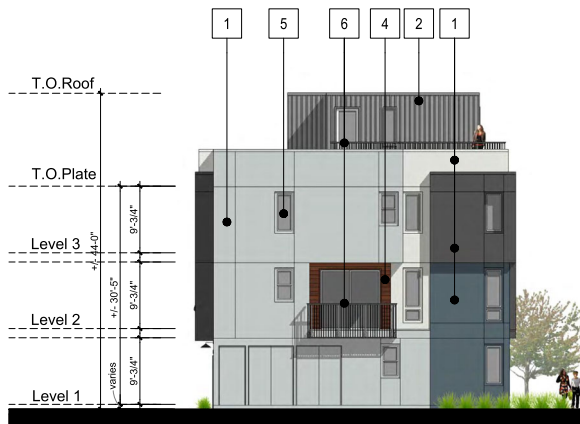
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



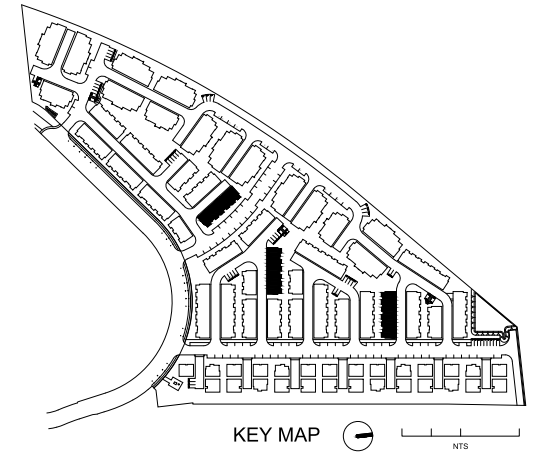
2. LEFT ELEVATION



1. FRONT ELEVATION



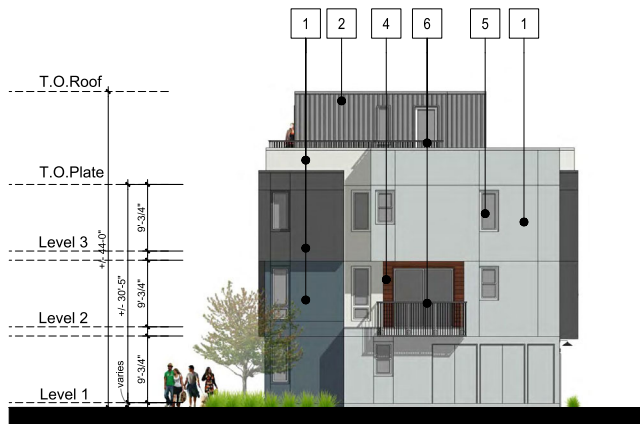
3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
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| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



2. RIGHT ELEVATION

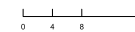


1. REAR ELEVATION



Campbell Technology Park
Campbell, CA # 2023-0039

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JANUARY 16, 2024

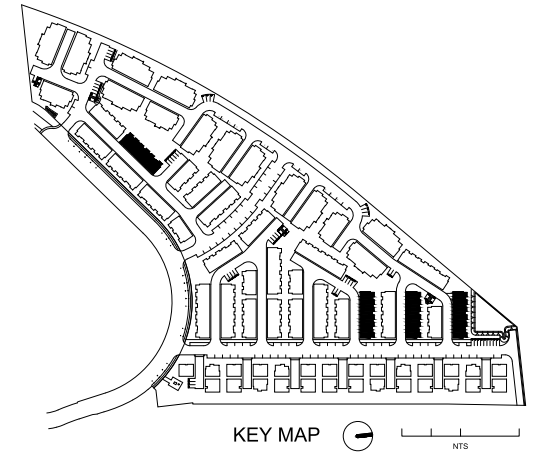


3 STORY TOWNHOUSE
6 PLEX-STYLE 1_ELEVATIONS

A2-2.3.1



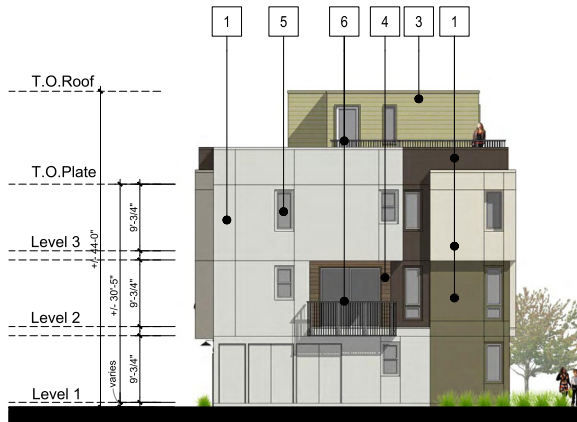
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



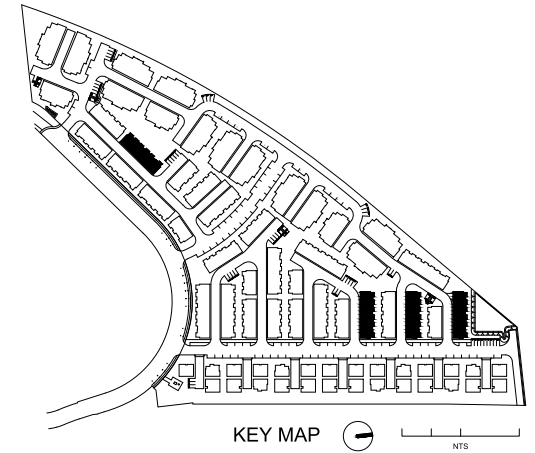
2. LEFT ELEVATION



1. FRONT ELEVATION



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

✱ Egress window for emergency escape



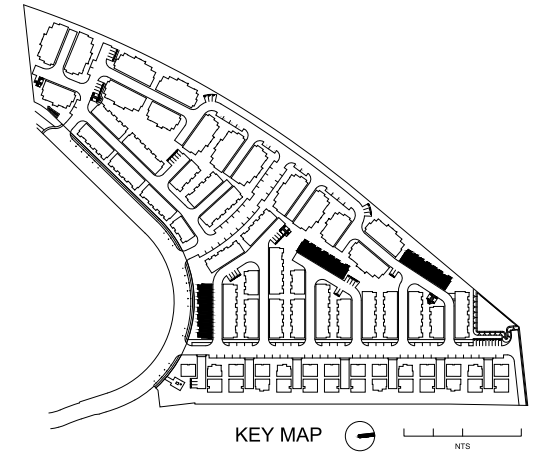
2. RIGHT ELEVATION



1. REAR ELEVATION



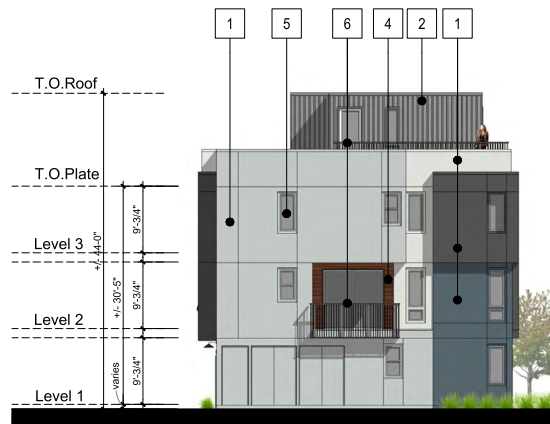
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



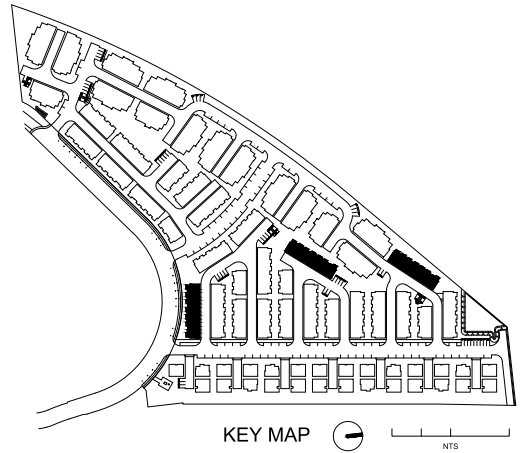
2. LEFT ELEVATION



1. FRONT ELEVATION



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



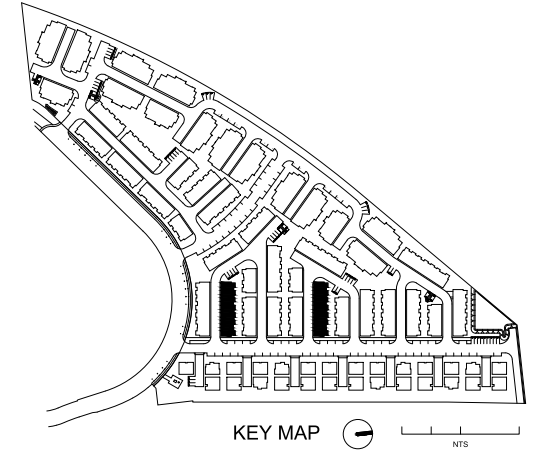
2. RIGHT ELEVATION



1. REAR ELEVATION



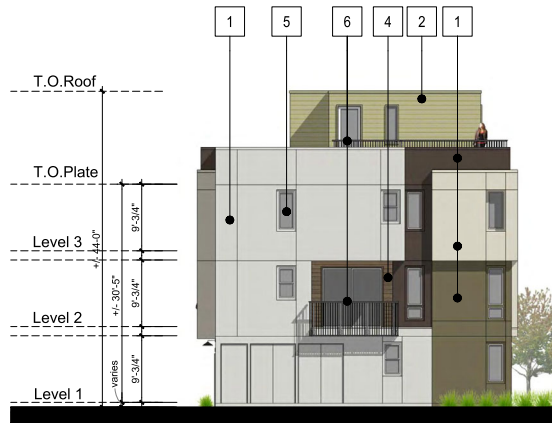
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



2. LEFT ELEVATION



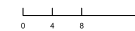
1. FRONT ELEVATION



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Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

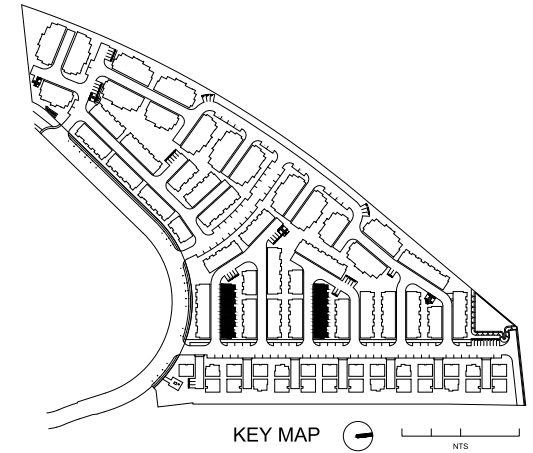


3 STORY TOWNHOUSE
7 PLEX-STYLE 2_ELEVATIONS

A2-2.4.2



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|---|----------------------|
| 1. STUCCO | 6. METAL RAILING |
| 2. FIBER CEMENT BOARD AND BATTEN SIDING | 7. METAL GARAGE DOOR |
| 3. FIBER CEMENT LAP SIDING | 8. LIGHT FIXTURE |
| 4. WOOD LOOK SIDING | 9. UNIT ADDRESS |
| 5. VINYL WINDOW | 10. ENTRY DOOR |
| | 11. ENTRY CANOPY |

* Egress window for emergency escape



2. RIGHT ELEVATION



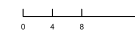
1. REAR ELEVATION



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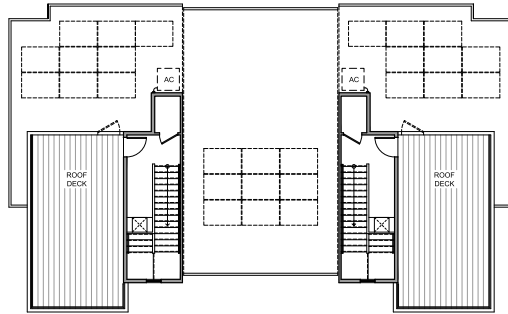
Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
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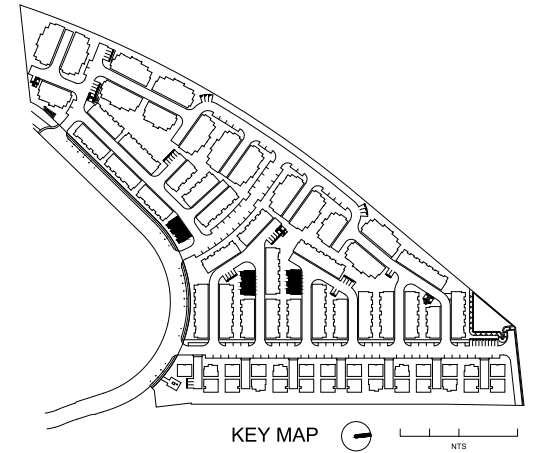


3 STORY TOWNHOUSE
7 PLEX-STYLE 2_ELEVATIONS

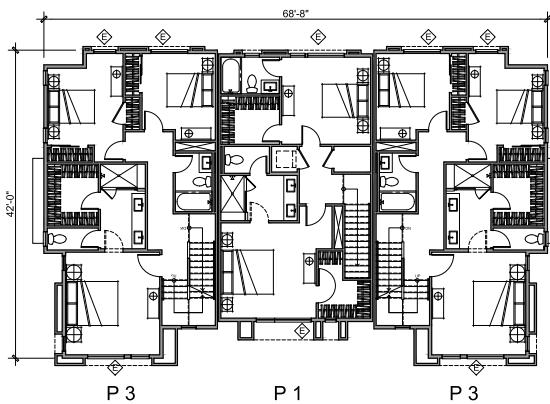
A2-2.4.3



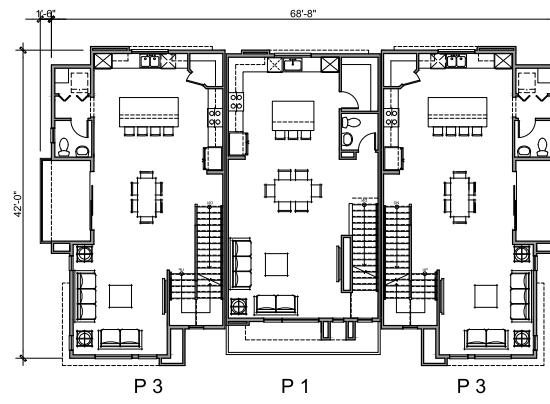
ROOF



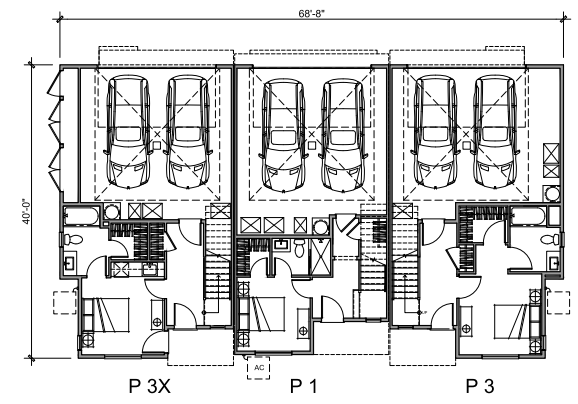
KEY MAP



LEVEL 3

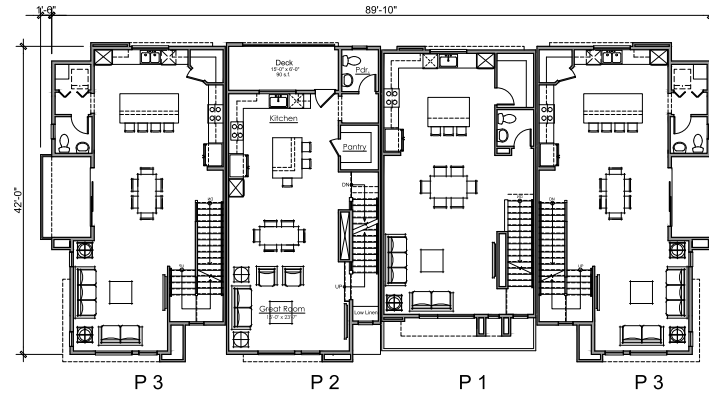


LEVEL 2

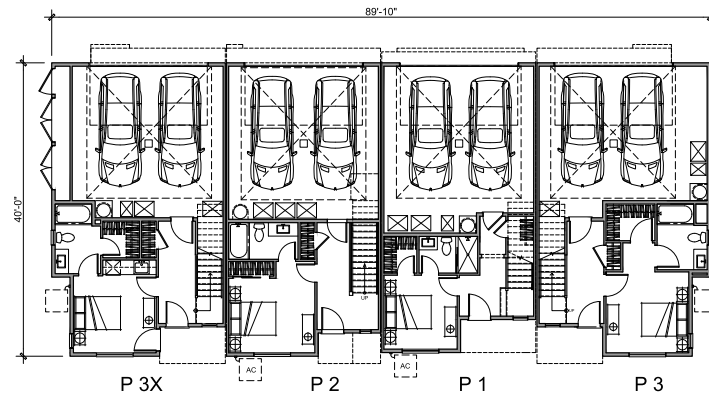


LEVEL 1

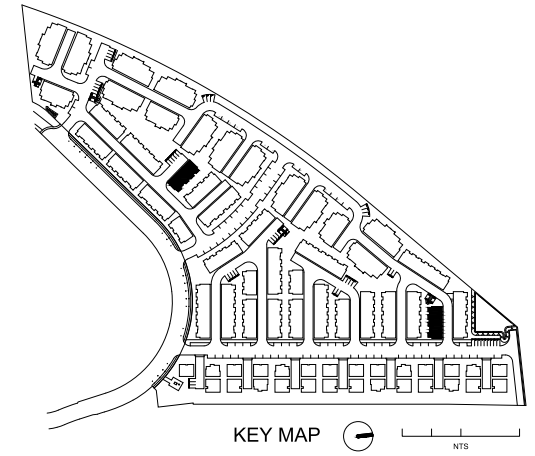
Egress window for emergency escape



LEVEL 2



LEVEL 1



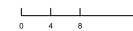
 Egress window for emergency escape



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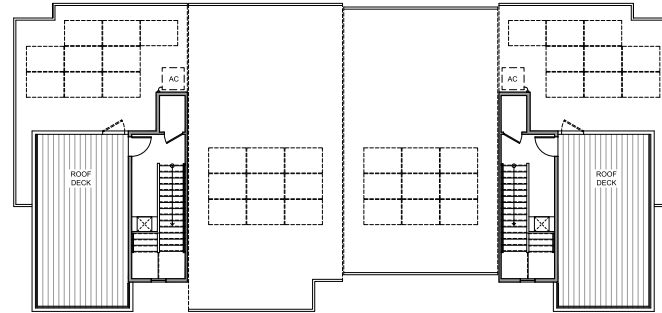
Campbell Technology Park
Campbell, CA # 2023-0039

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JANUARY 16, 2024

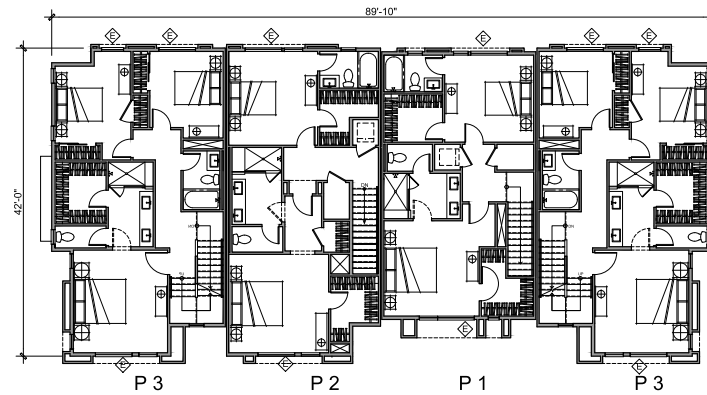
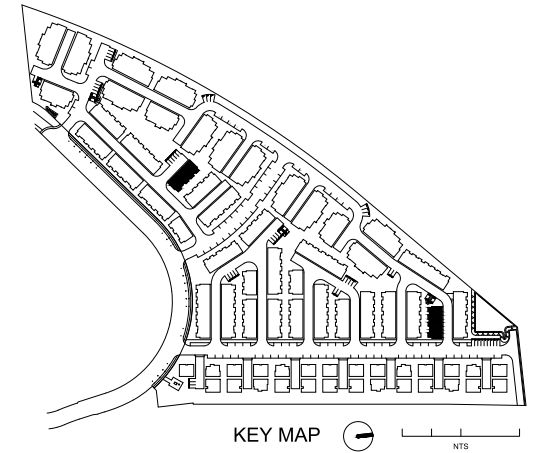


3 STORY TOWNHOUSE
4 PLEX-BUILDING PLANS

A2-3.1.0



ROOF



LEVEL 3

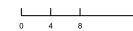
 Egress window for emergency escape



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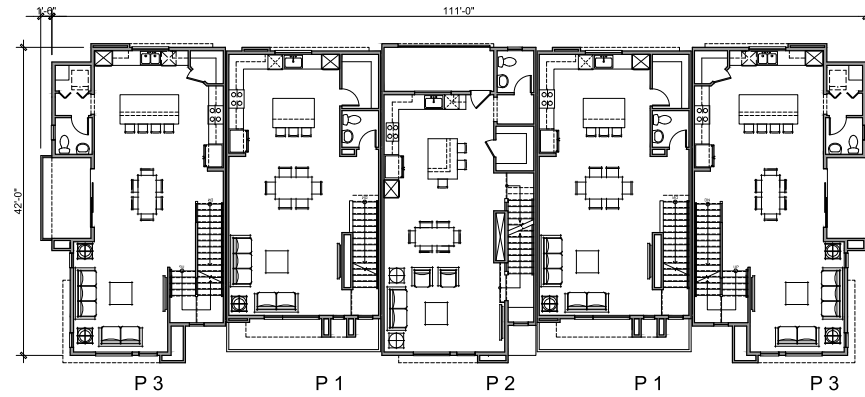
Campbell Technology Park
Campbell, CA # 2023-0039

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JANUARY 16, 2024

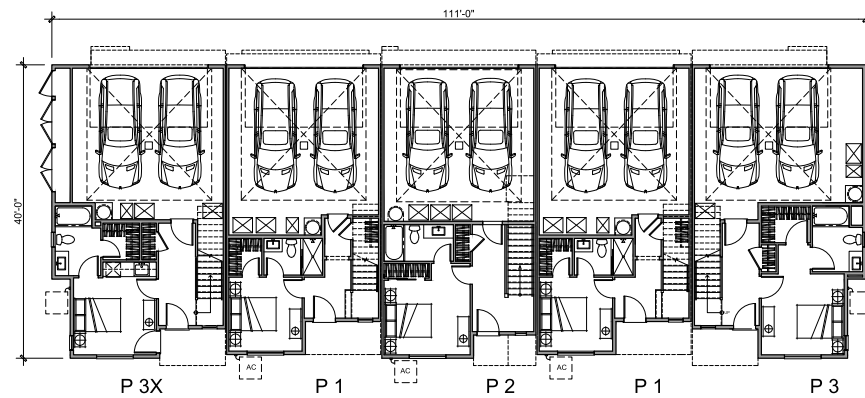


3 STORY TOWNHOUSE
4 PLEX-BUILDING PLANS

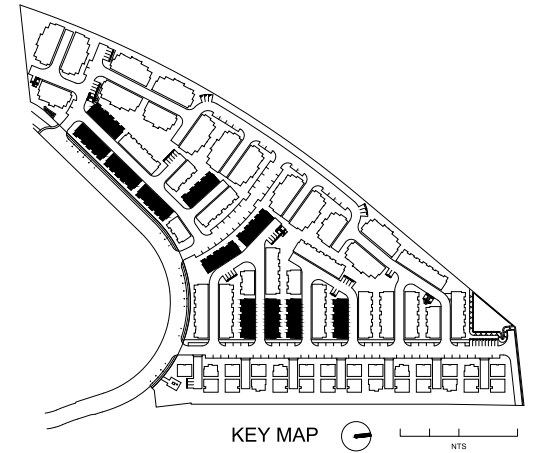
A2-3.1.1



LEVEL 2



LEVEL 1



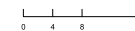
 Egress window for emergency escape



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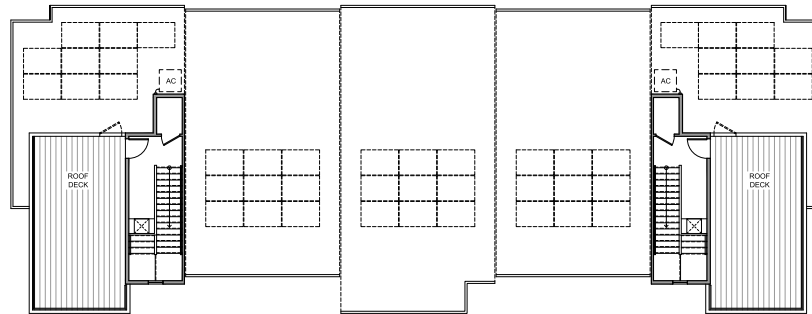
Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

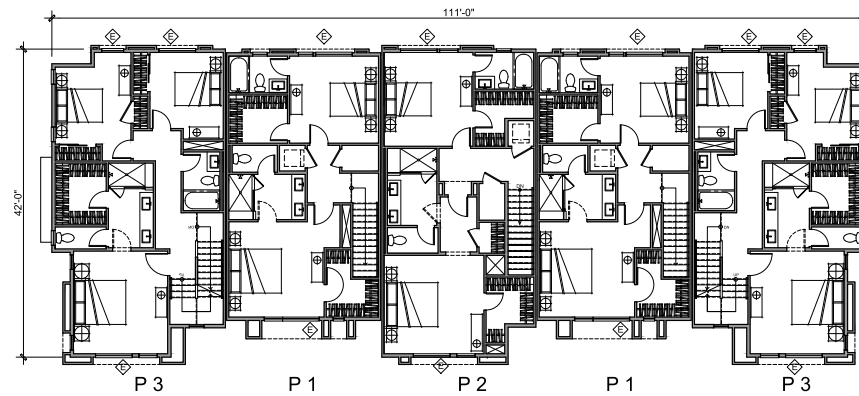
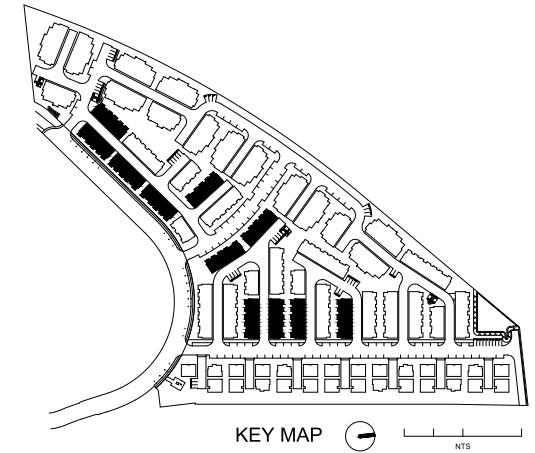


3 STORY TOWNHOUSE
5 PLEX-BUILDING PLANS

A2-3.2.0



ROOF



LEVEL 3

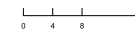
 Egress window for emergency escape



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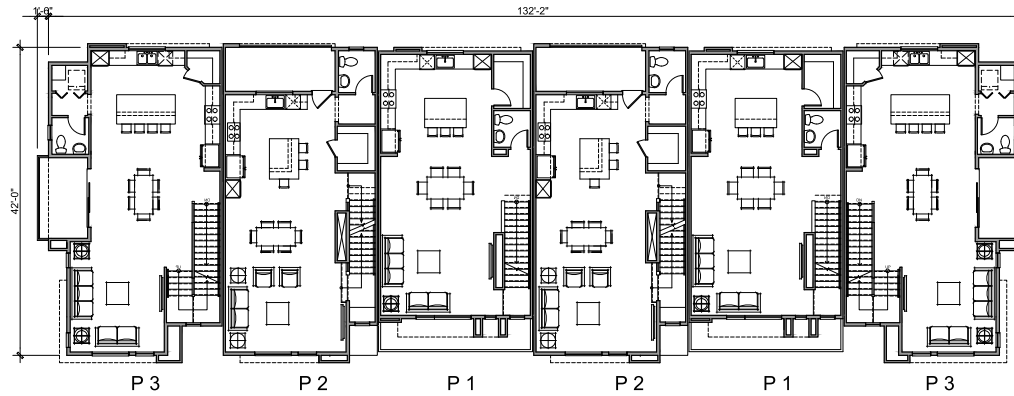
Campbell Technology Park
Campbell, CA # 2023-0039

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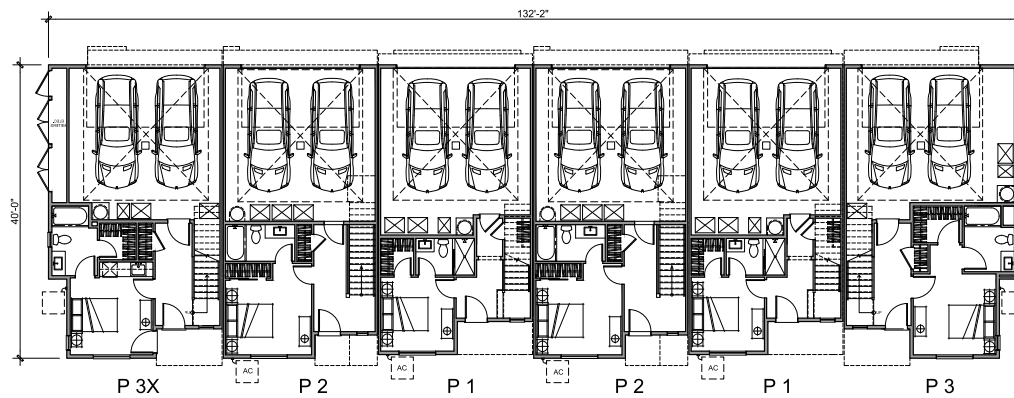


3 STORY TOWNHOUSE
5 PLEX-BUILDING PLANS

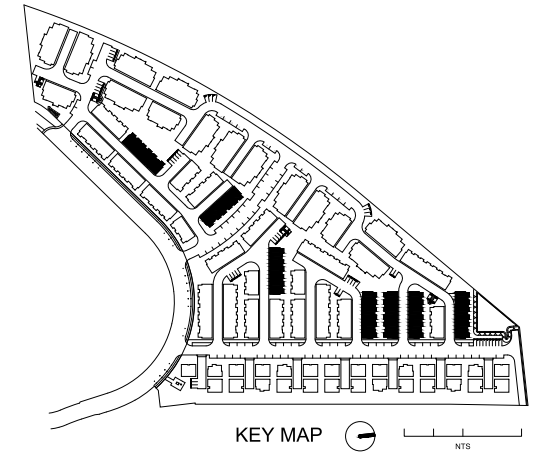
A2-3.2.1



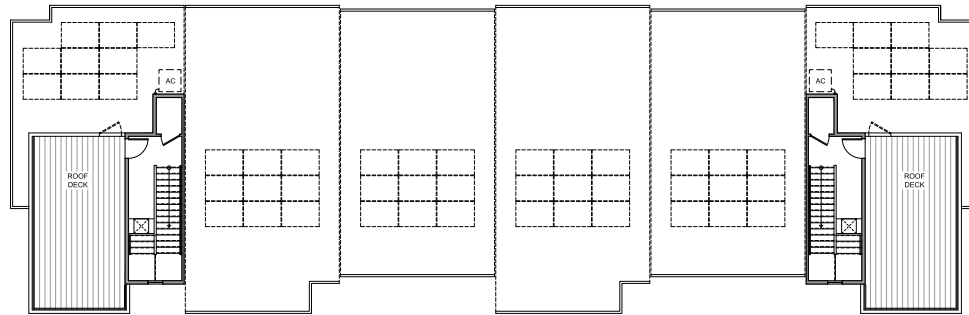
LEVEL 2



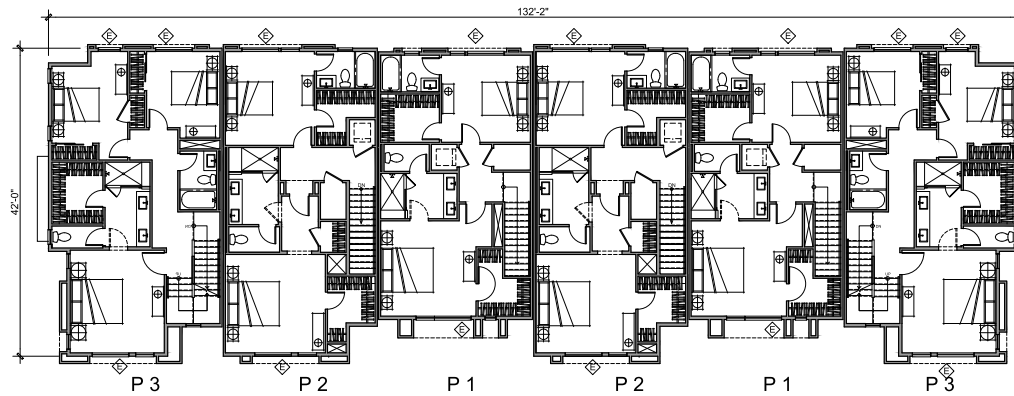
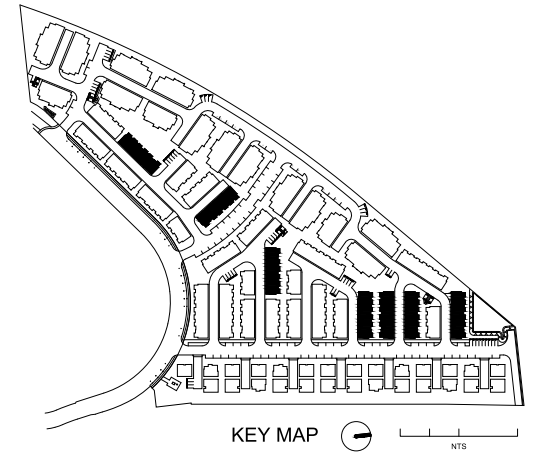
LEVEL 1



 Egress window for emergency escape

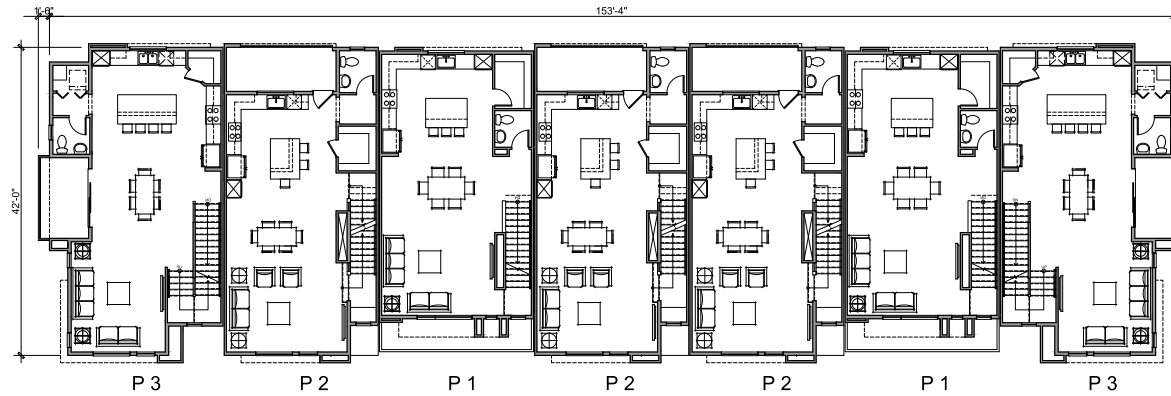


ROOF

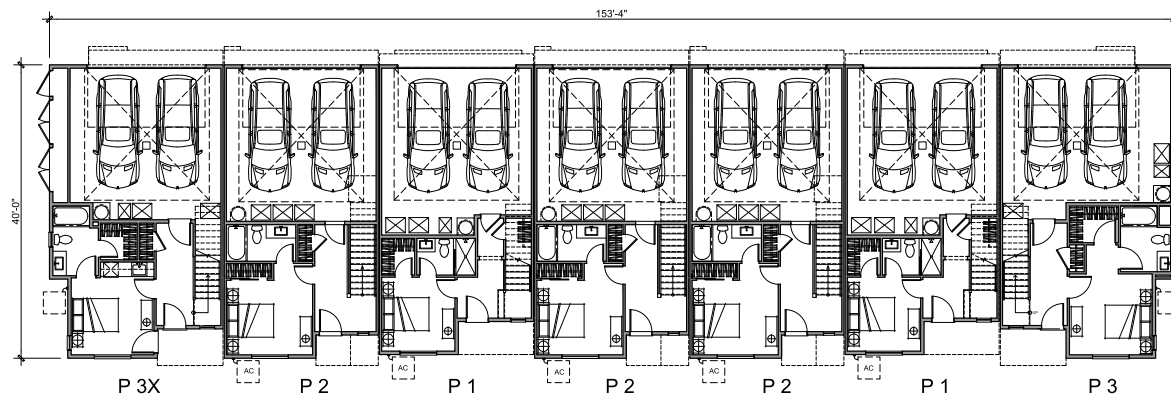


LEVEL 3

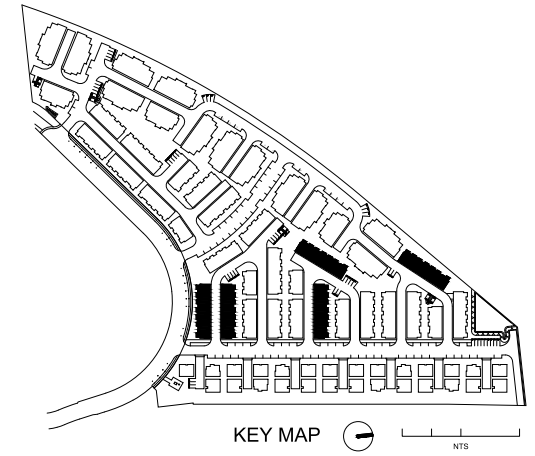
 Egress window for emergency escape



LEVEL 2



LEVEL 1



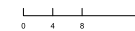
 Egress window for emergency escape



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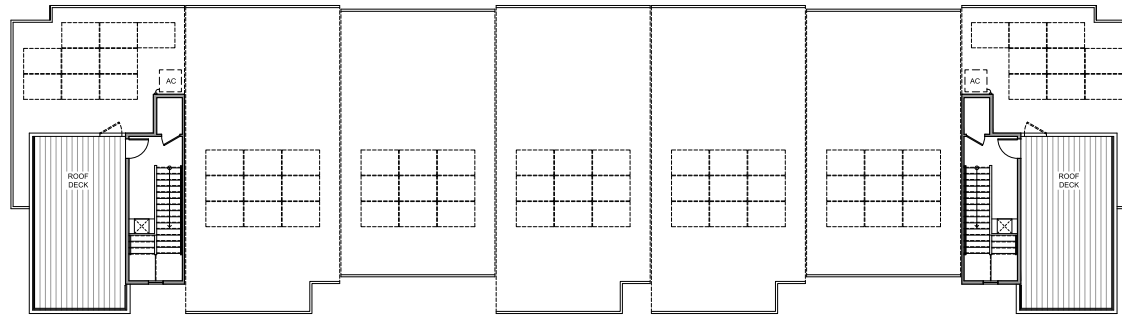
Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

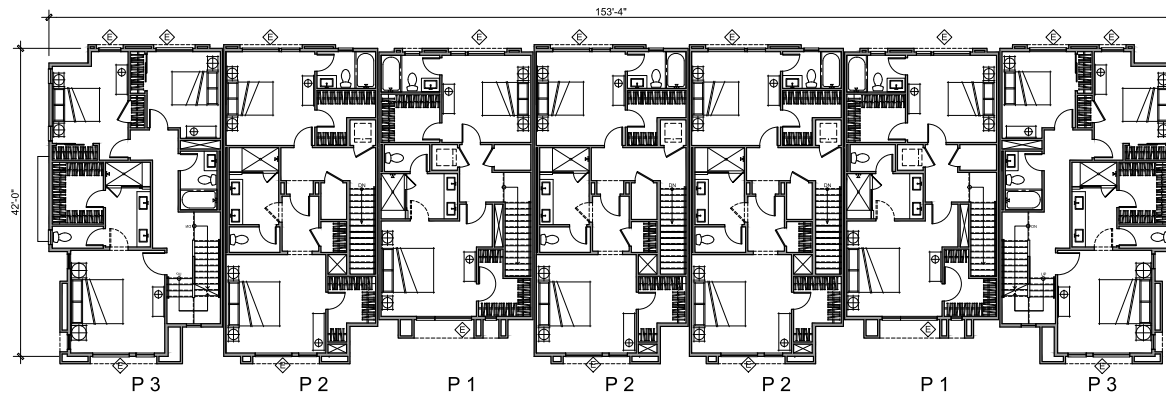


3 STORY TOWNHOUSE
7 PLEX-BUILDING PLANS

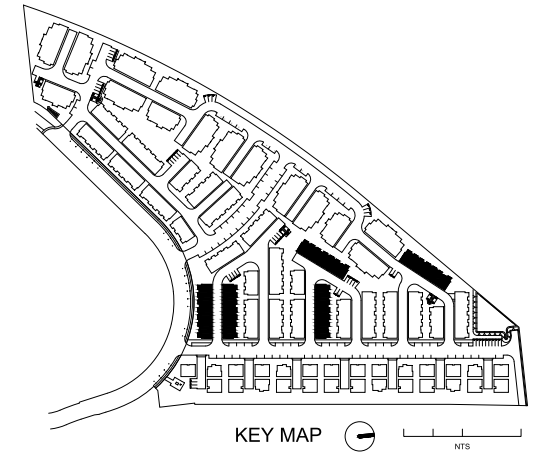
A2-3.4.0



ROOF



LEVEL 3



 Egress window for emergency escape



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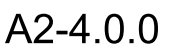
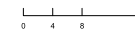
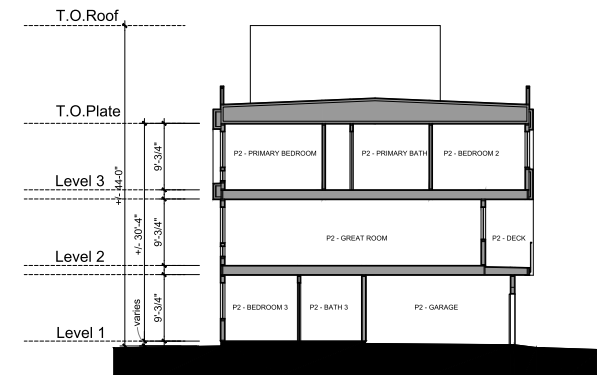
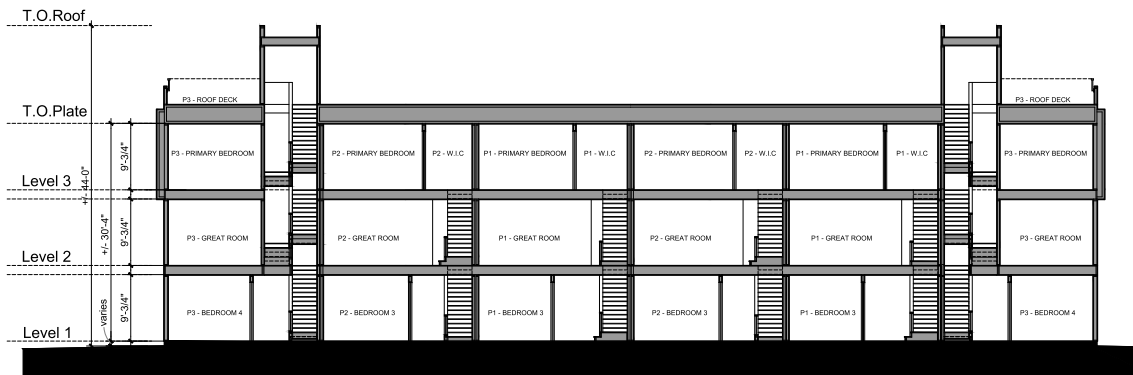
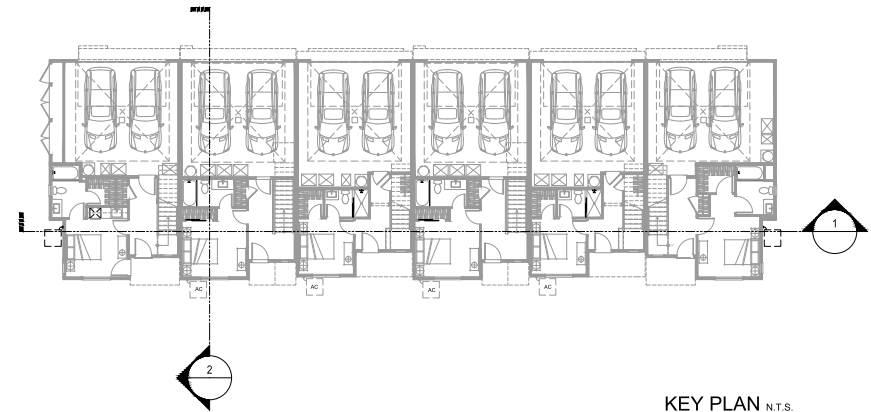
Campbell Technology Park
Campbell, CA # 2023-0039

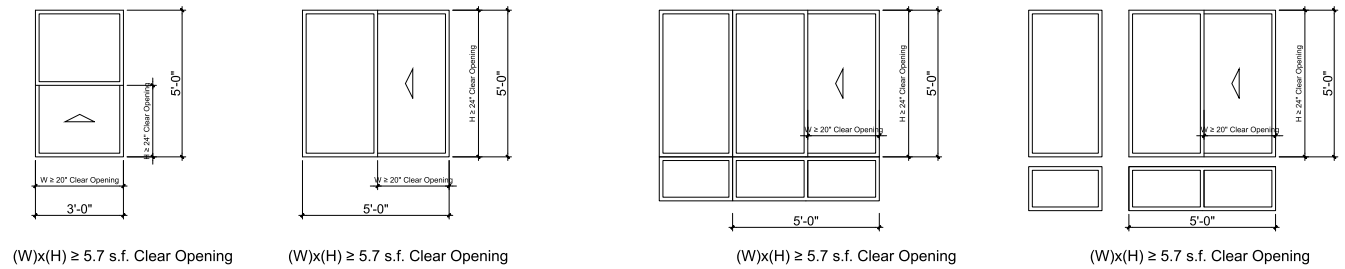
DESIGN REVIEW
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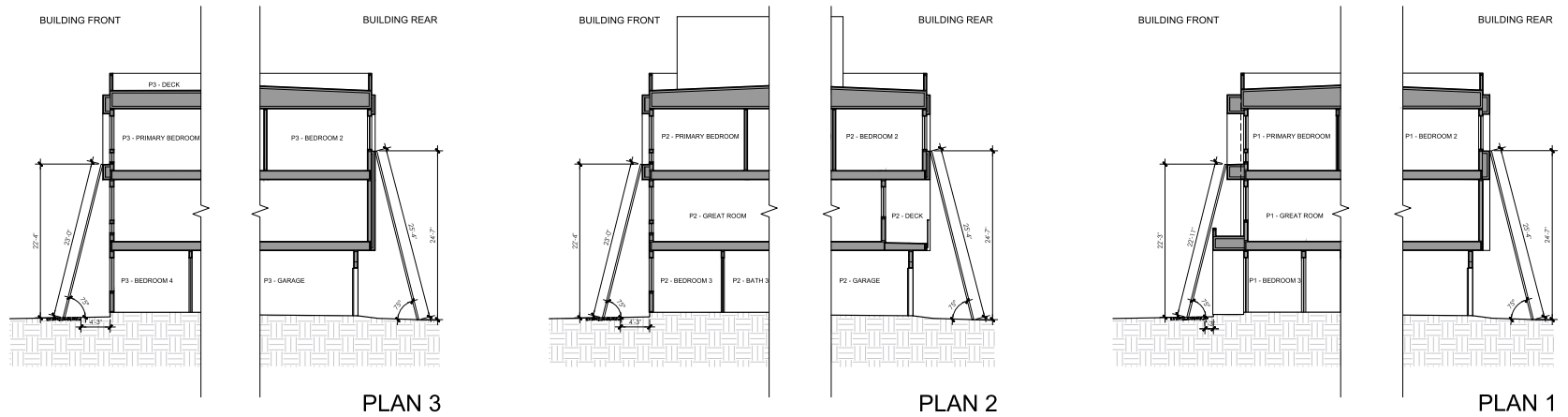
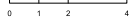
3 STORY TOWNHOUSE
7 PLEX-BUILDING PLANS

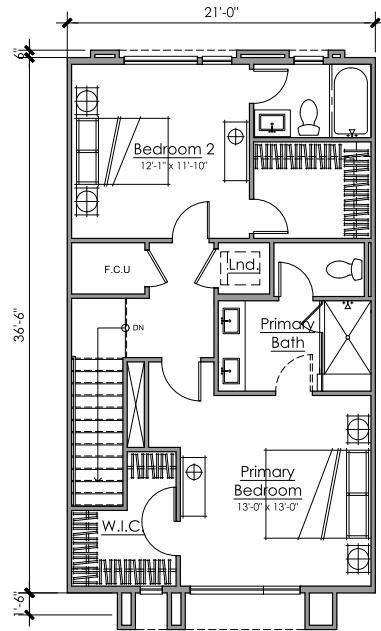
A2-3.4.1



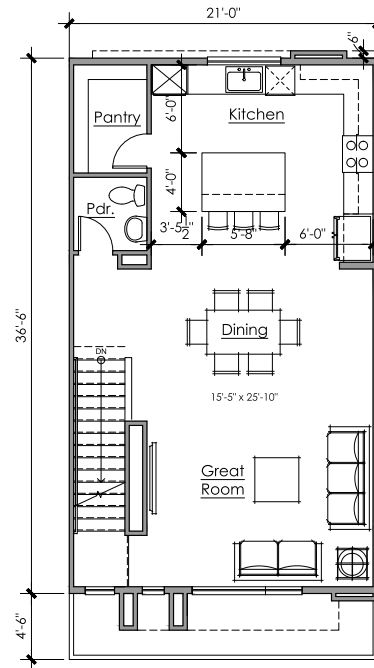


EMERGENCY ESCAPE AND RESCUE OPENINGS FOR TYPICAL EGRESS WINDOW

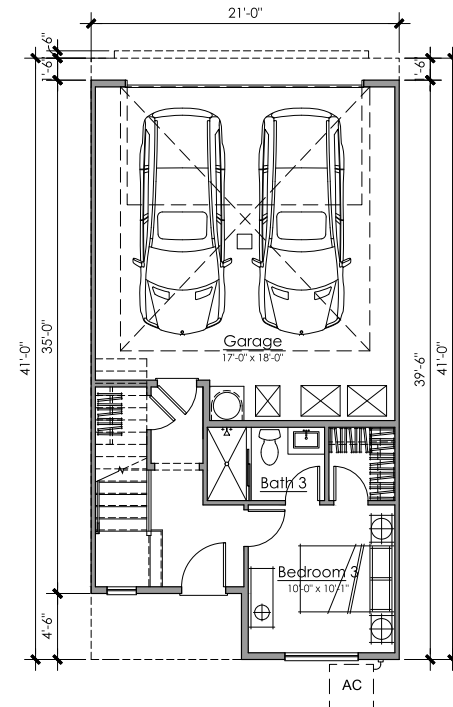




Third Floor

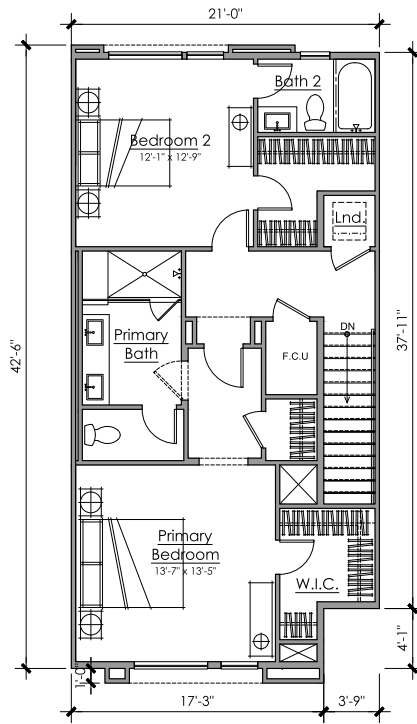


Second Floor

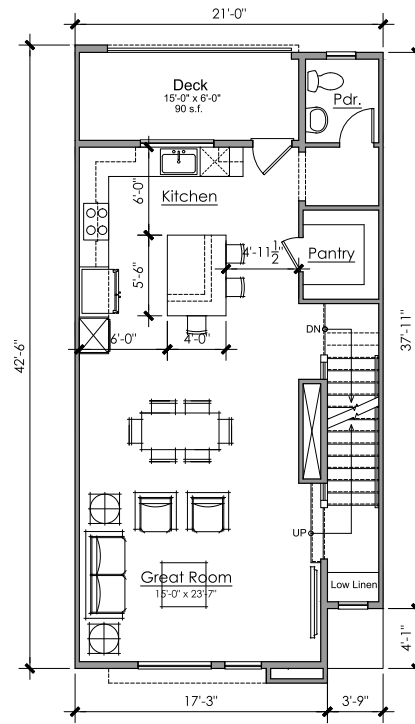


First Floor

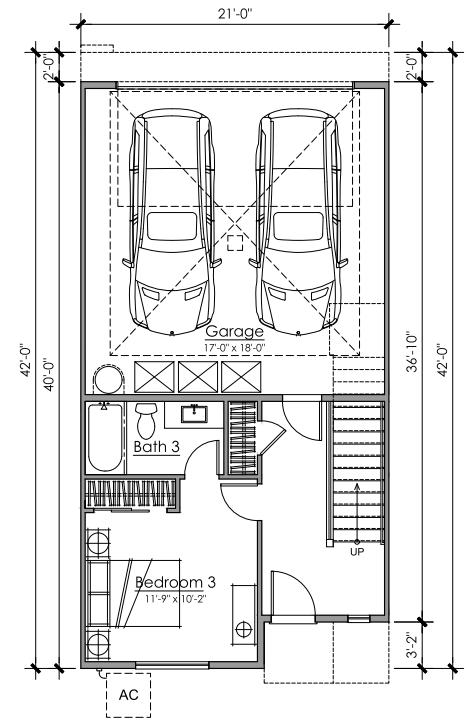
Plan 1 Floor Plan
3 Bedroom, 3.5 Bath
1,733 n.s.f.



Third Floor

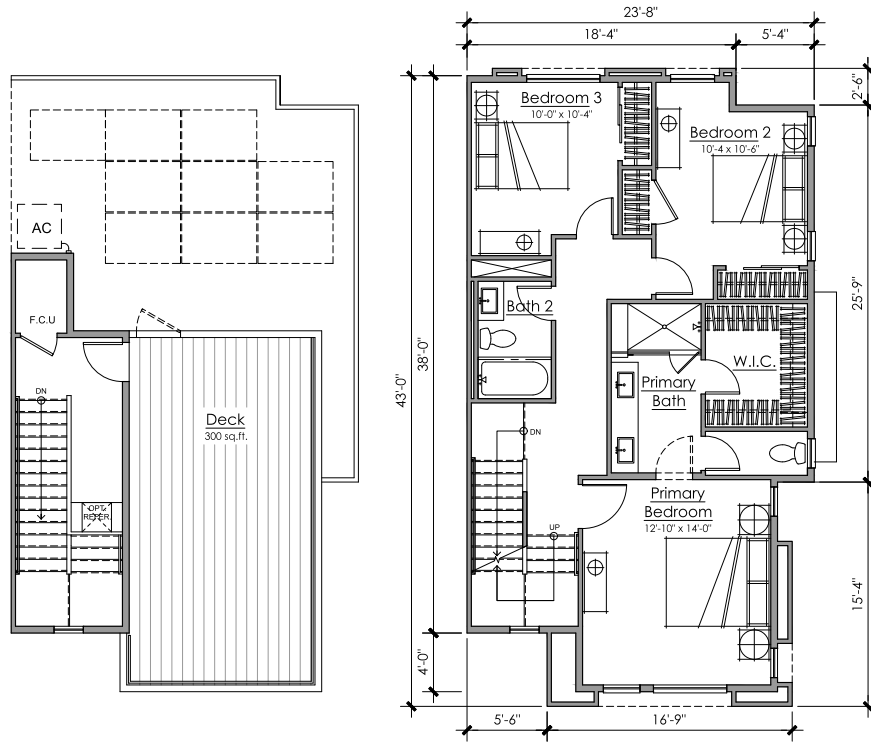


Second Floor



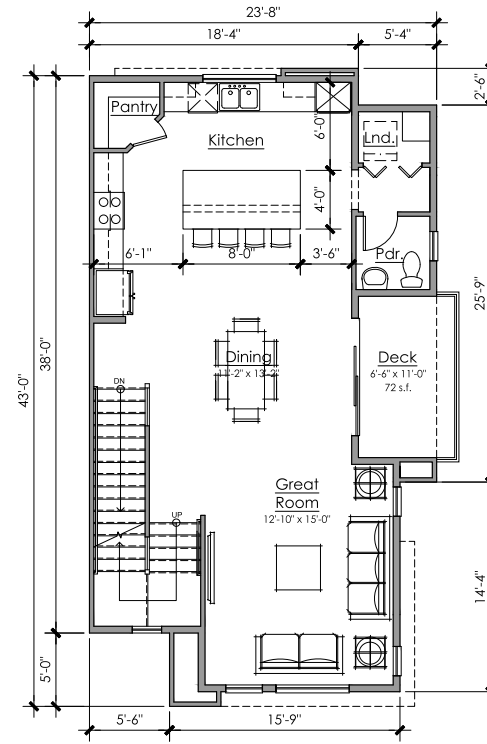
First Floor

Plan 2 Floor Plan
3 Bedroom, 3.5 Bath
1,871 n.s.f.

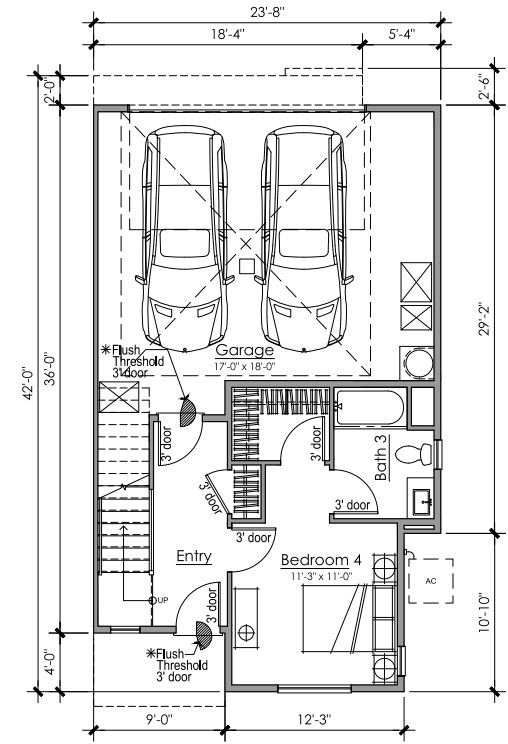


Roof

Third Floor



Second Floor

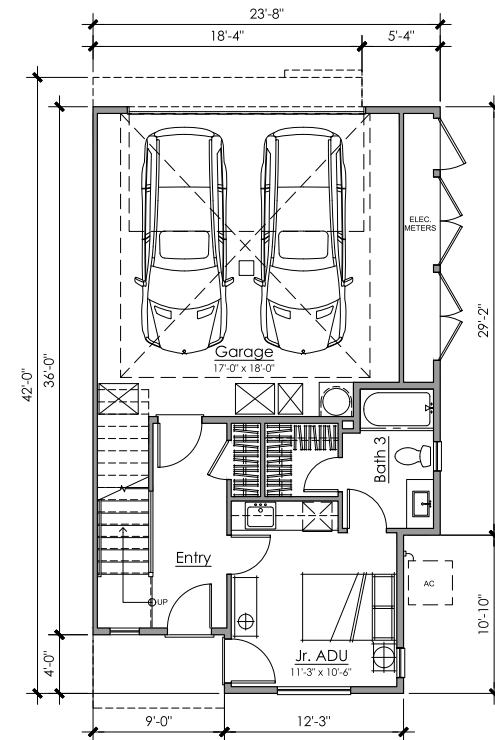


First Floor

Plan 3 Floor Plan
4 Bedroom+ 3.5 Bath
2,004 n.s.f.
2,144 n.s.f. (with Roof Deck)

* Accessible 1st Floor
where occurs per
CBC 1102 A.3

NOTE:
step@ front door
& garage man door occurs
@ non-accessible conditions



PLAN 3X_Jr.ADU OPT.

Plan 3X Floor Plan
 4 Bedroom+ 3.5 Bath
 OPT. Jr. ADU
 1,984 n.s.f.
 2,124 n.s.f. (with Roof Deck)

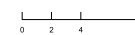
Jr. ADU OPTION



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 Technology
 Park LLC

Campbell Technology Park
 Campbell, CA # 2023-0039

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3 STORY TOWNHOUSE
 PLAN 3X_UNIT PLAN

A2-5.2.1



4. PLAN 1(A STYLE)- FRONT PORCH

- Painted Fiber Cement Board and Batten Siding
- Vinyl Window
- Painted Fiber Cement Trim
- High Density Foam Trim
- Stucco
- Unit Address & Lighting Fixture
- Wood look siding
- Metal Garage Door



3. PLAN 2 & PLAN 1(A STYLE) - REAR GARAGE

- Metal Railing



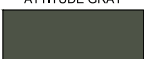
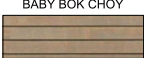
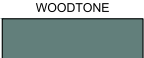
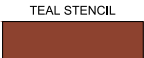
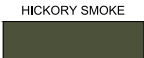
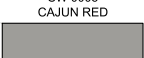
2. PLAN 2(B STYLE)- FRONT PORCH

- Stucco
- Painted Fiber Cement Lap Siding
- Vinyl Window
- Stucco
- Metal Railing
- Entry Canopy
Stucco outer side and wood look siding on underside
- Electrical Closet Doors
- Wood look siding



1. PLAN 3 (A STYLE) - FRONT LEFT CORNER

- Metal Railing on Roof Deck
- Painted Fiber Cement Board and Batten Siding

	STYLE 1	STYLE 2
STUCCO BODY 1 / TRIM 1	 SW 9624 WINSOME GRAY	 SW 9501 OAT MILK
STUCCO BODY 2 / TRIM 2	 SW 0052 PEARL GRAY	 SW 9627 PACIFIC FOG
STUCCO BODY 3 / TRIM 3	 SW 7674 PEPPERCORN	 SW 2851 SAGE GREEN LIGHT
STUCCO BODY 4 / TRIM 4	 SW 6250 GRANITE PEAK	 SW 7060 ATTITUDE GRAY
STUCCO BODY 5 / TRIM 5	 SW 0045 ANTIQUARIAN BROWN	 SW 7730 FORESTWOOD
STUCCO BODY 6 / TRIM 6	 SW 9580 CRACKED PEPPER	 SW 7020 BLACK FOX
HORIZONTAL LAP SIDING/ BOARD AND BATTEN SIDING/ TRIM 5	 SW 9563 BEDROCK	 SW 9037 BABY BOK CHOY
WOOD LOOK SIDING 1/ TRIM 6	 ROSEWOOD WOODTONE	 SAND CASTLE WOODTONE
WOOD LOOK SIDING 2/ TRIM 7	 RIVER ROCK WOODTONE	 ASPEN RIDGE WOODTONE
ENTRY DOOR 1	 SW 0018 TEAL STENCIL	 SW 7027 HICKORY SMOKE
ENTRY DOOR 2	 SW 0008 CAJUN RED	 SW 6181 SECRET GARDEN
GARAGE DOOR	 SW 9555 STORM WARNING	 SW 7069 IRON ORE

Manufacturers

Paint - Sherwin Williams or Equal
Garage door - Clopay garage doors or Equal
Entry door - Therma Tru or Equal
Wood Look Siding: Woodtone siding or Equal
Composition Shingle Roof: GAF Roofing or Equal



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Campbell, CA # 2023-0039

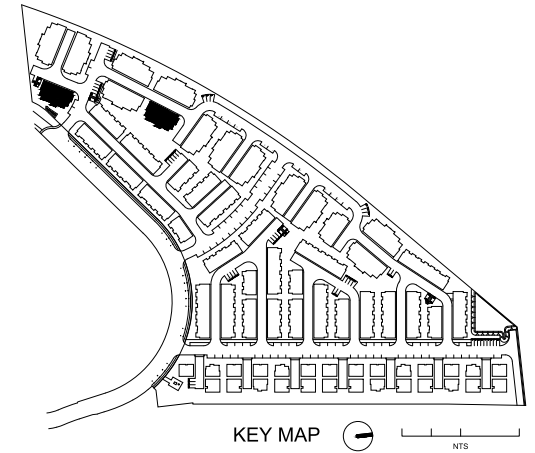
DESIGN REVIEW
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3 STORY TOWNHOUSE
COLORS & MATERIALS

A 2-7.0.0



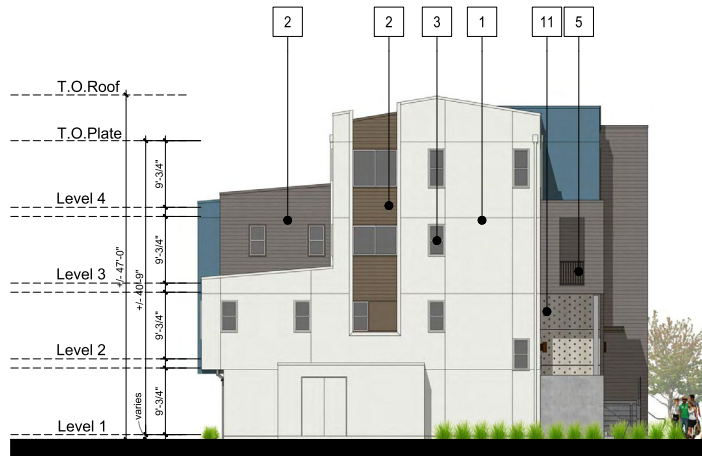
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

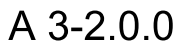
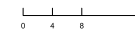
✱ Egress window for emergency escape



2. LEFT ELEVATION

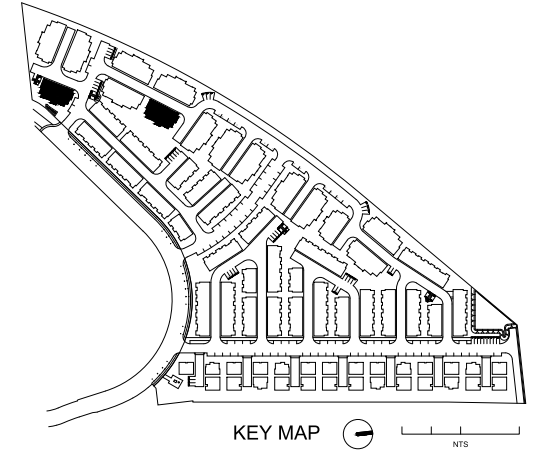


1. FRONT ELEVATION





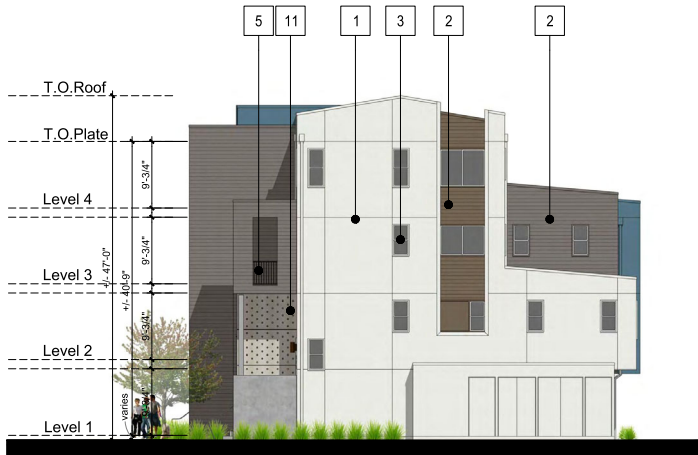
3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

* Egress window for emergency escape



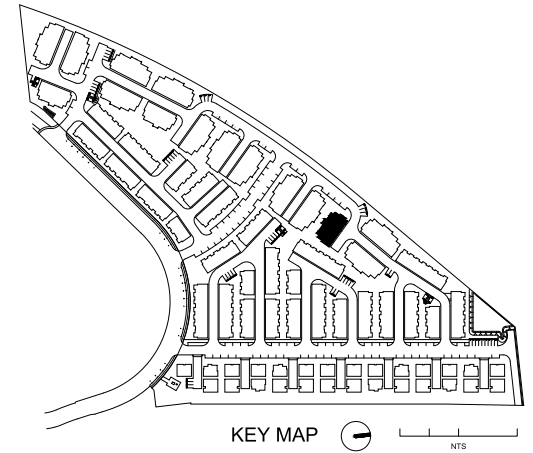
2. RIGHT ELEVATION



1. REAR ELEVATION



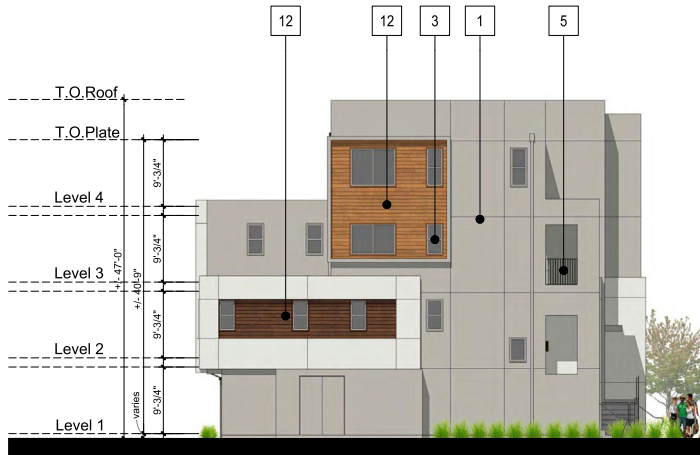
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

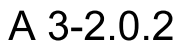
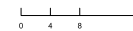
* Egress window for emergency escape



2. LEFT ELEVATION

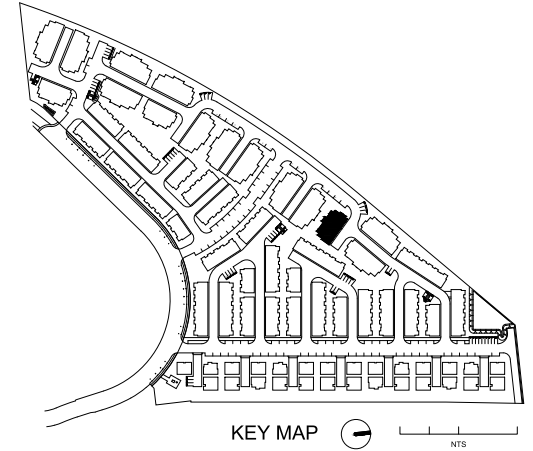


1. FRONT ELEVATION





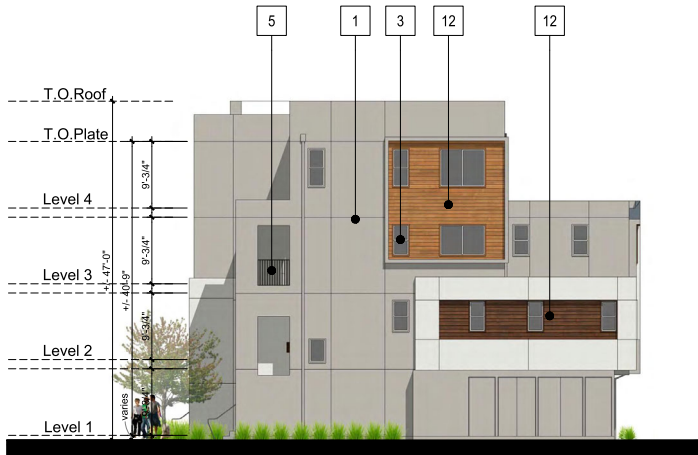
3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

* Egress window for emergency escape



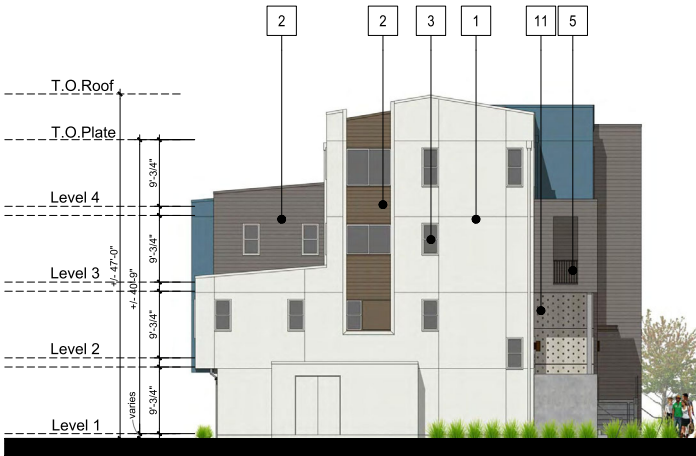
2. RIGHT ELEVATION



1. REAR ELEVATION



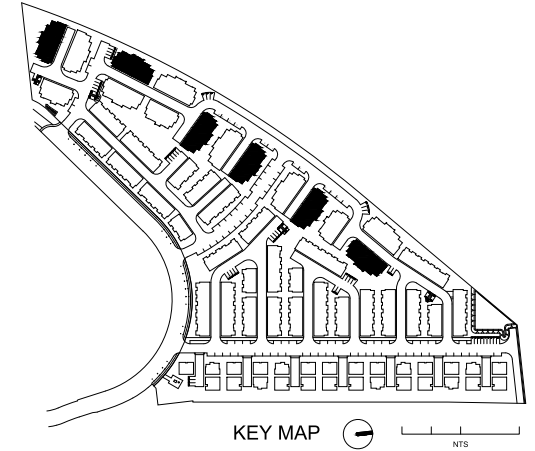
3. FRONT PERSPECTIVE



2. LEFT ELEVATION



1. FRONT ELEVATION



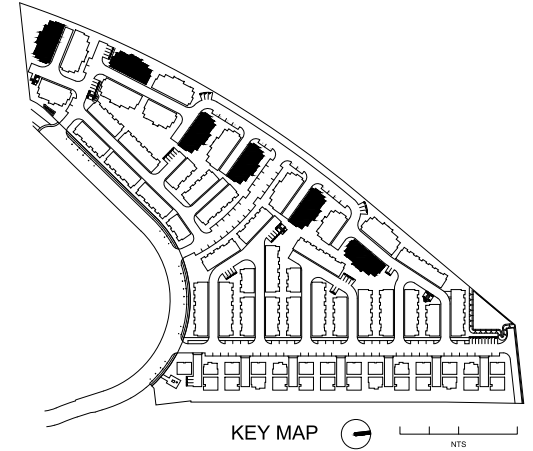
MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

✱ Egress window for emergency escape



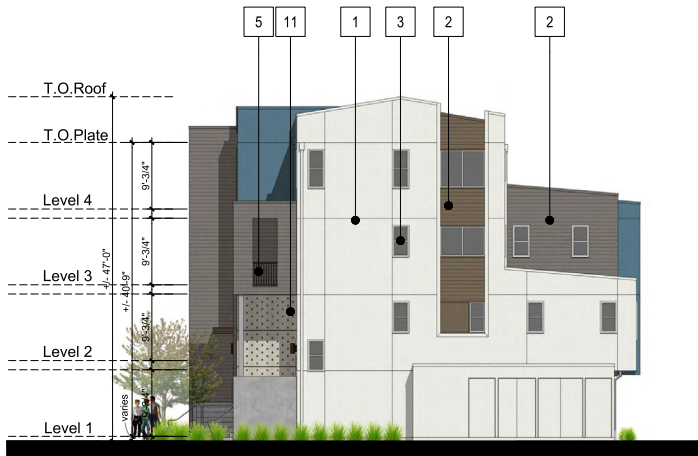
3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

* Egress window for emergency escape



2. RIGHT ELEVATION



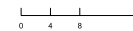
1. REAR ELEVATION



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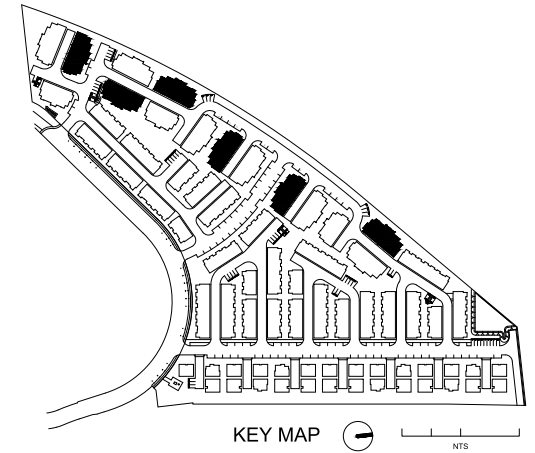


4 STORY CONDOMINIUM
8 PLEX ELEVATIONS

A 3-2.1.1



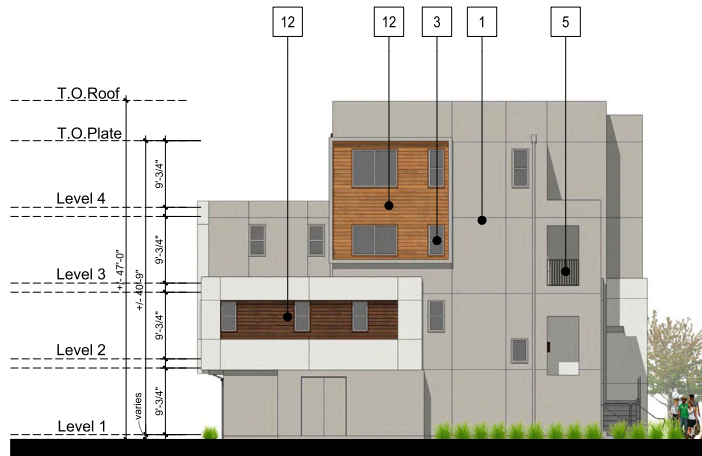
3. FRONT PERSPECTIVE



MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

✱ Egress window for emergency escape



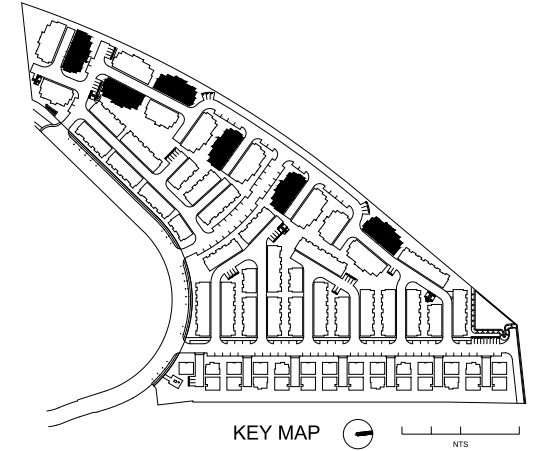
2. LEFT ELEVATION



1. FRONT ELEVATION



3. REAR PERSPECTIVE



MATERIAL LEGEND

- | | |
|----------------------------|------------------------------|
| 1. STUCCO | 7. LIGHT FIXTURE |
| 2. FIBER CEMENT LAP SIDING | 8. UNIT ADDRESS |
| 3. VINYL WINDOW | 9. ENTRY DOOR |
| 4. CANOPY | 10. STANDING SEAM METAL ROOF |
| 5. METAL RAILING | 11. METAL SCREEN |
| 6. METAL GARAGE DOOR | 12. WOOD LOOK SIDING |

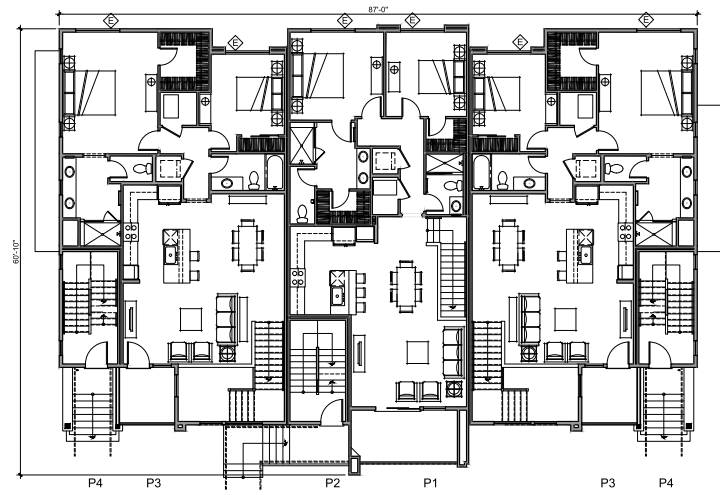
* Egress window for emergency escape



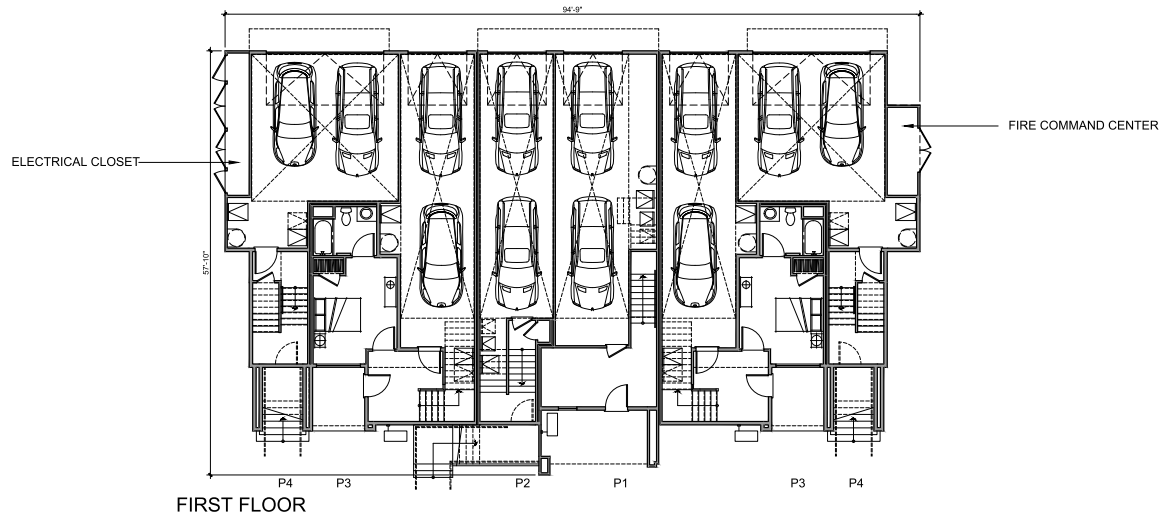
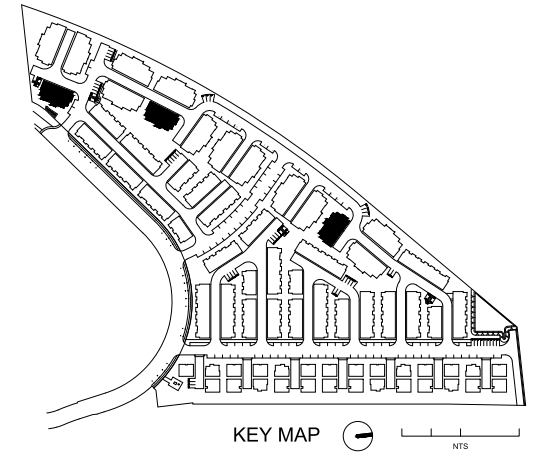
2. RIGHT ELEVATION



1. REAR ELEVATION

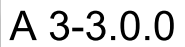
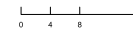


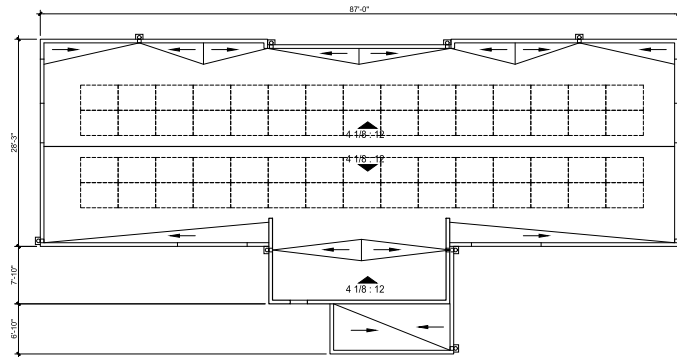
SECOND FLOOR



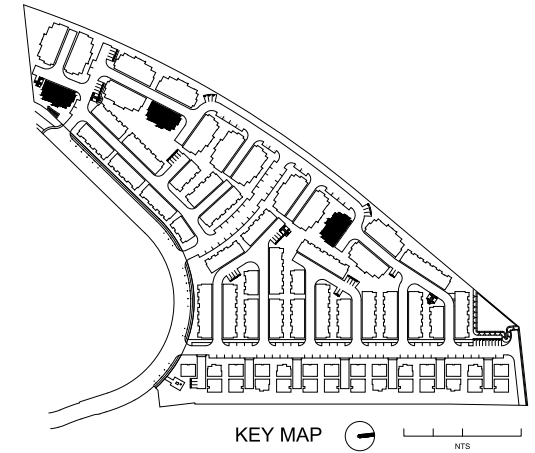
FIRST FLOOR

 Egress window for emergency escape

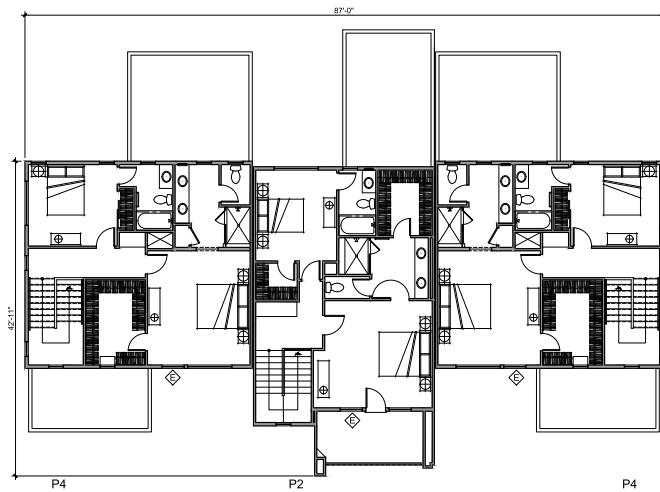




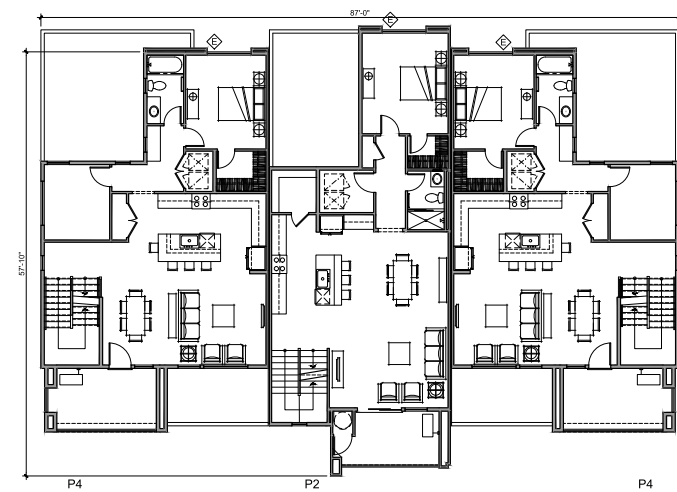
ROOF PLAN



KEY MAP



FOURTH FLOOR



THIRD FLOOR

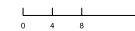
 Egress window for emergency escape



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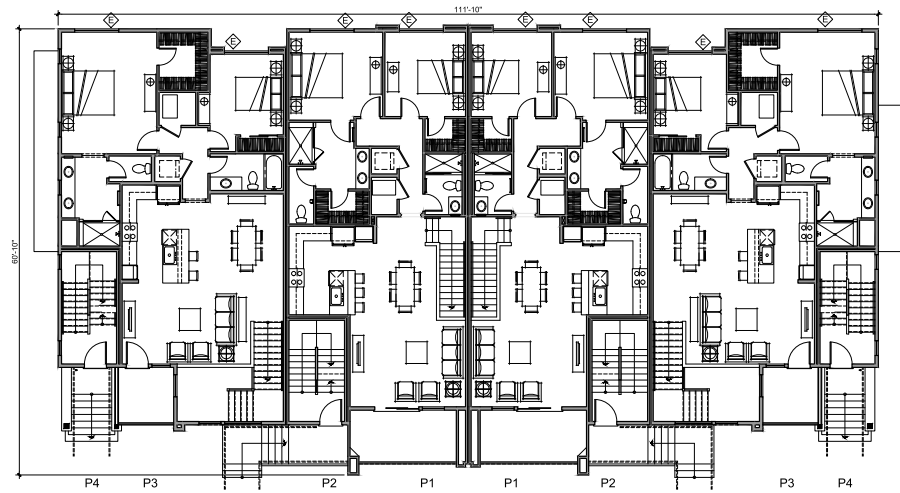
Campbell Technology Park
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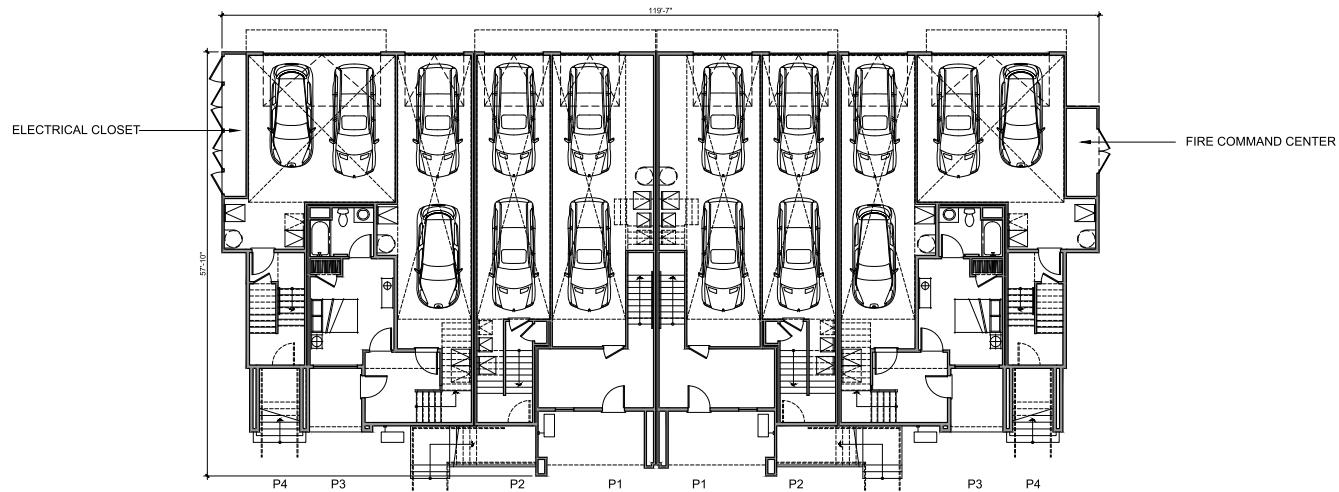
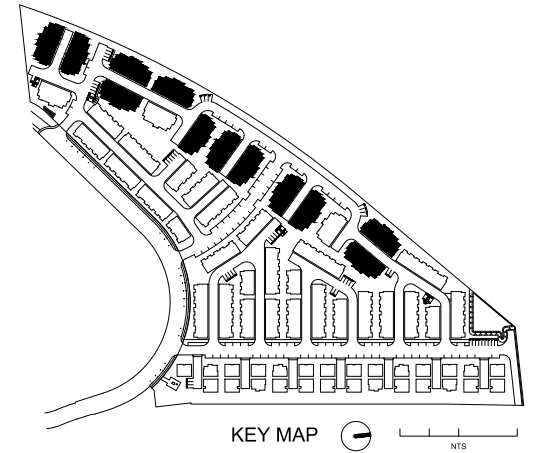


4 STORY CONDOMINIUM
6-PLEX BUILDING PLANS

A 3-3.0.1



SECOND FLOOR



FIRST FLOOR

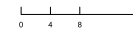
 Egress window for emergency escape



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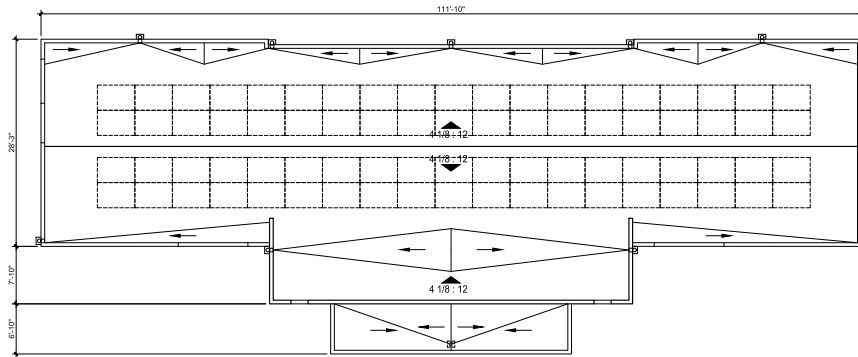
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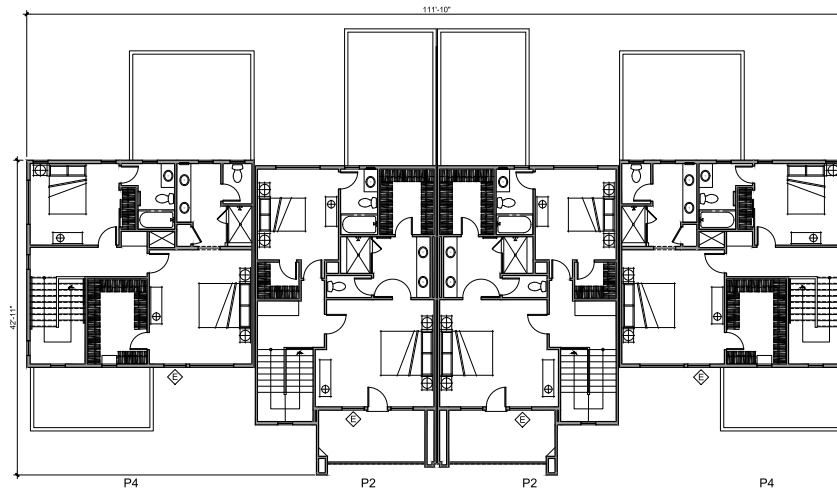
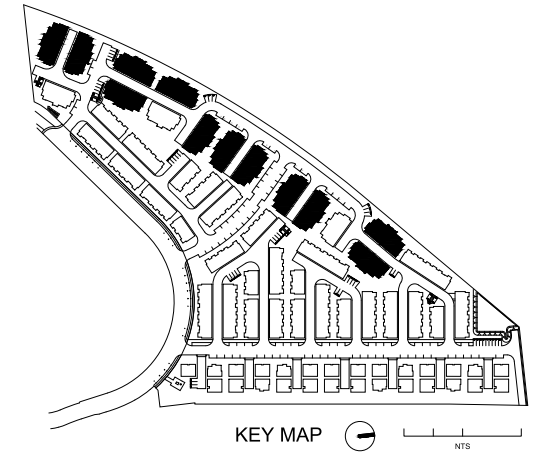


4 STORY CONDOMINIUM
8-PLEX BUILDING PLANS

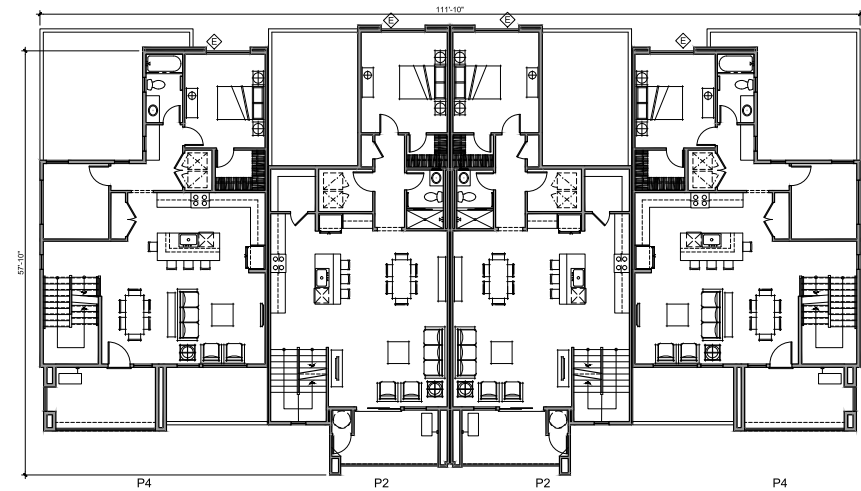
A 3-3.1.0



ROOF PLAN



FOURTH FLOOR



THIRD FLOOR

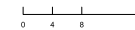
 Egress window for emergency escape



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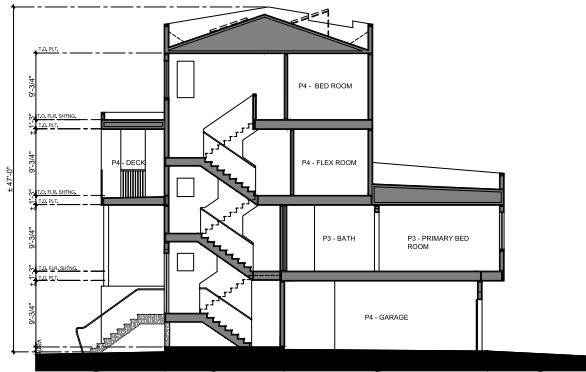
Campbell Technology Park
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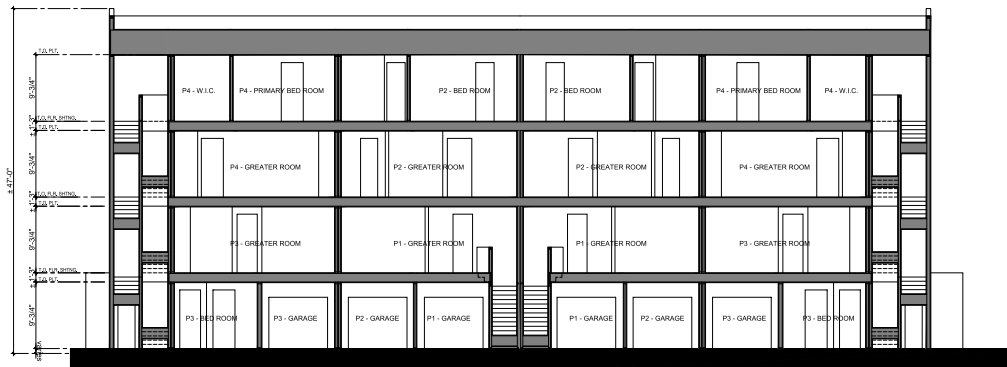


4 STORY CONDOMINIUM
8-PLEX BUILDING PLANS

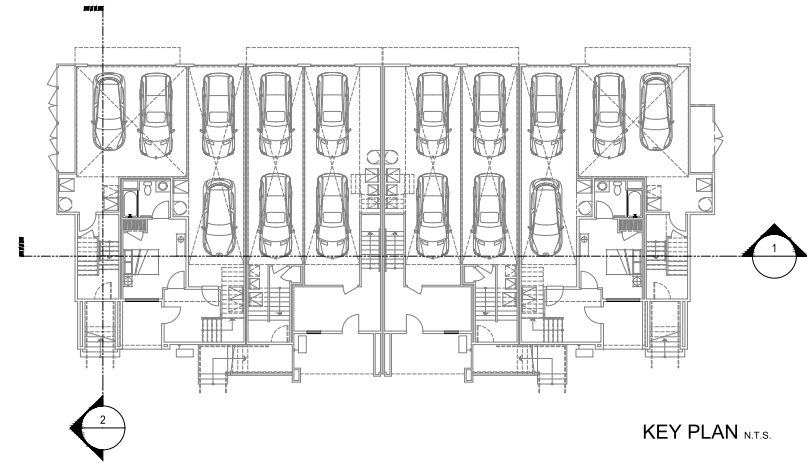
A 3-3.1.1

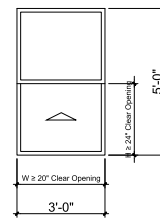


Section 2

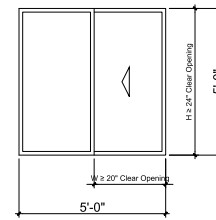


Section 1

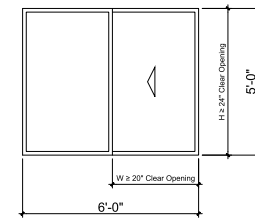




(W)x(H) ≥ 5.7 s.f. Clear Opening

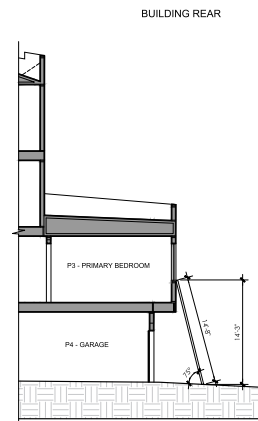
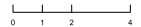


(W)x(H) ≥ 5.7 s.f. Clear Opening

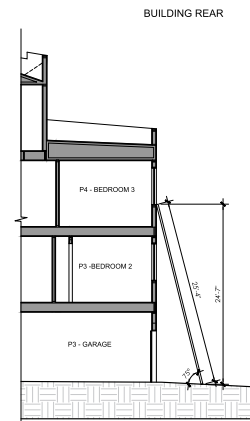


(W)x(H) ≥ 5.7 s.f. Clear Opening

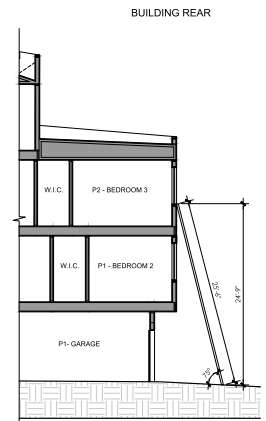
EMERGENCY ESCAPE AND RESCUE OPENINGS FOR TYPICAL EGRESS WINDOW



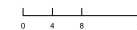
PLAN 3 & 4

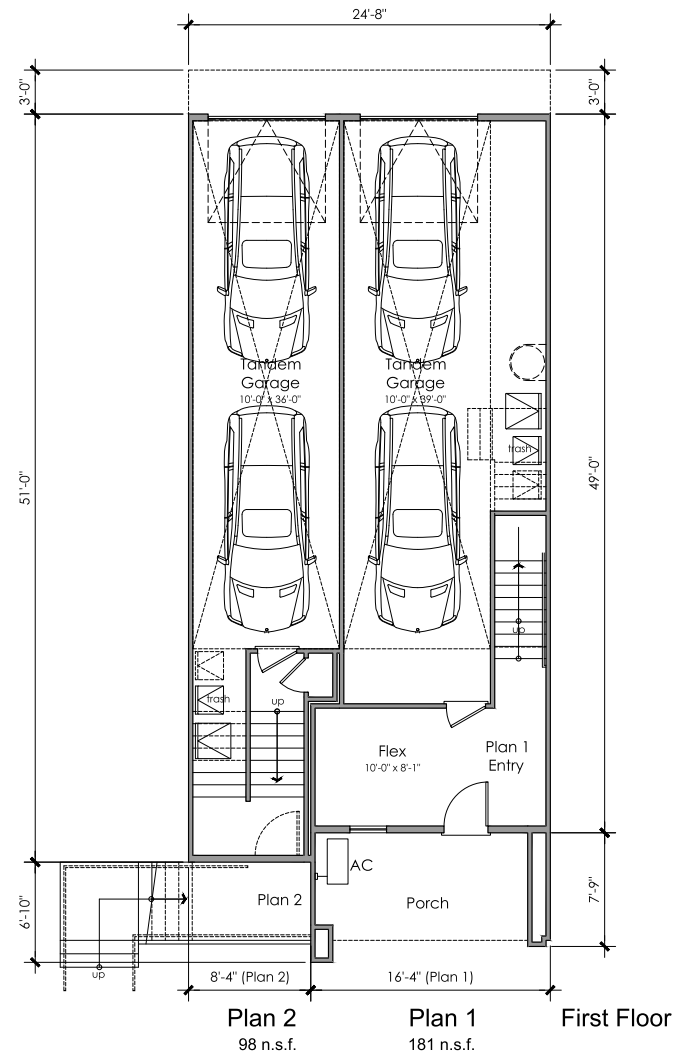
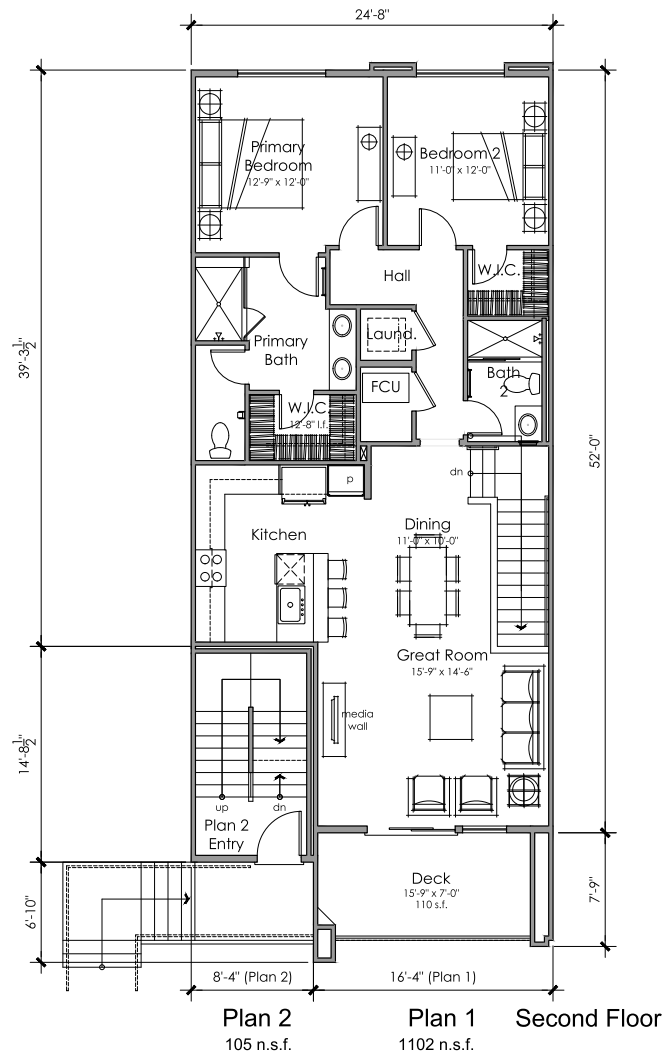


PLAN 3 & 4



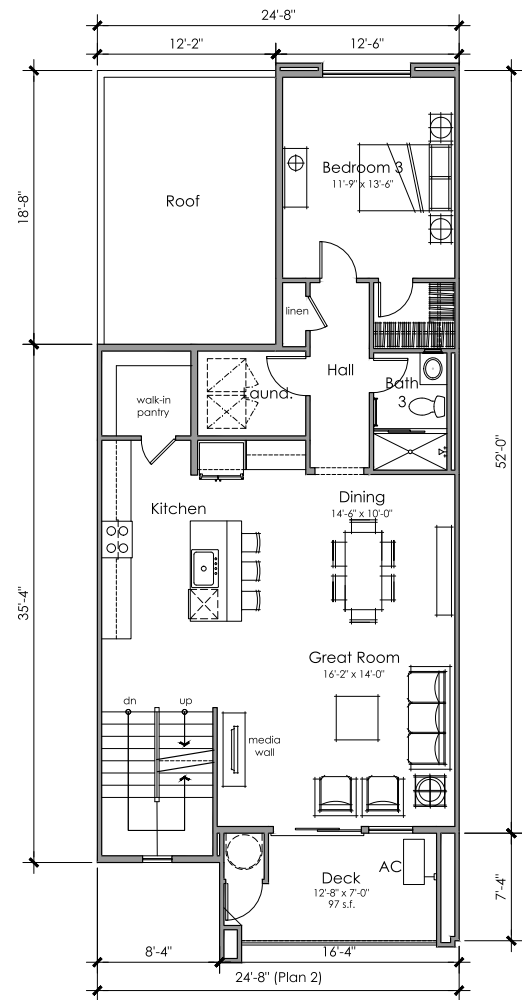
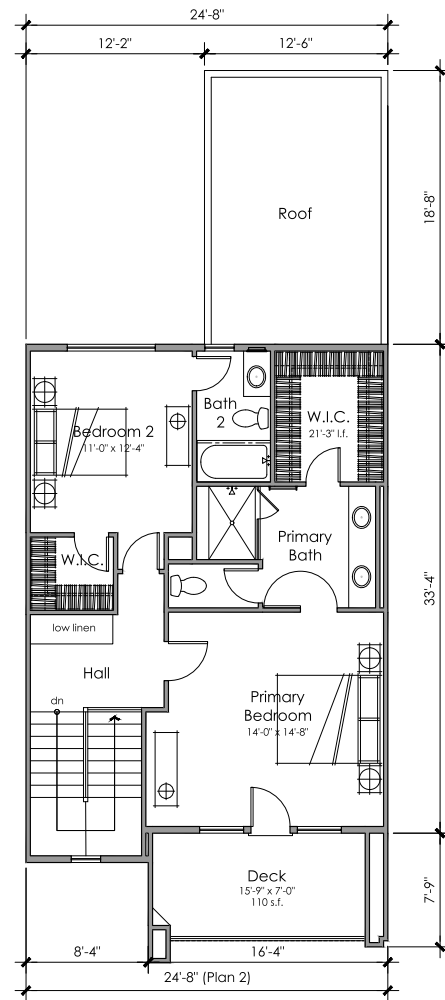
PLAN 1 & 2

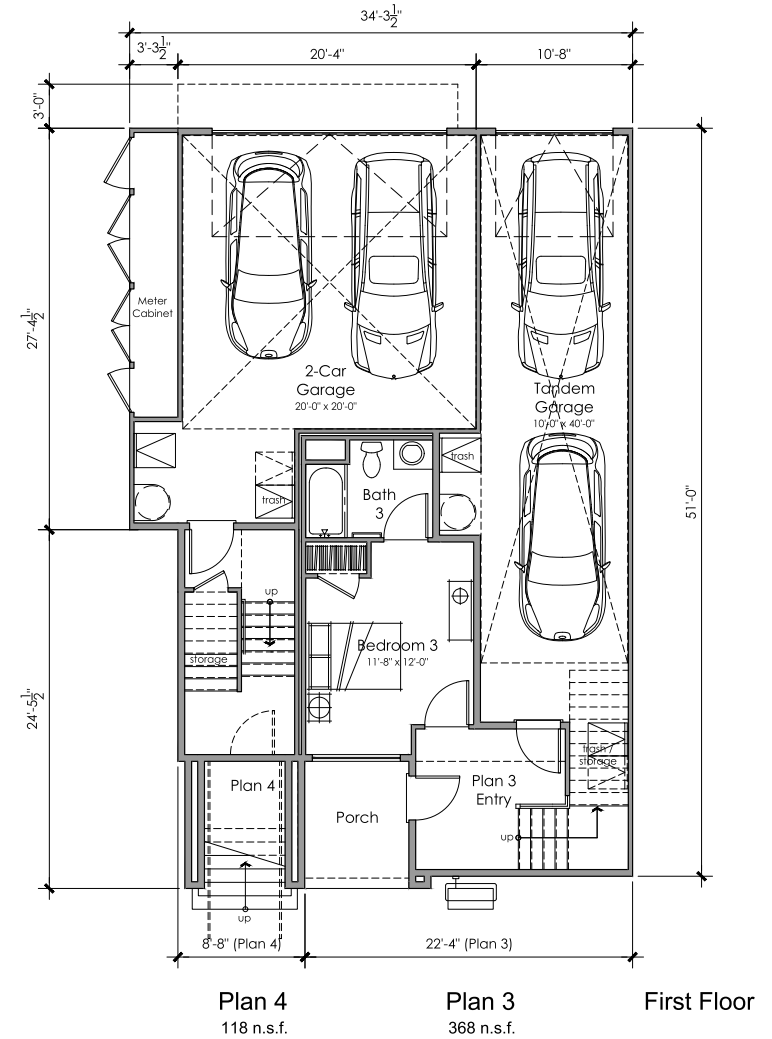
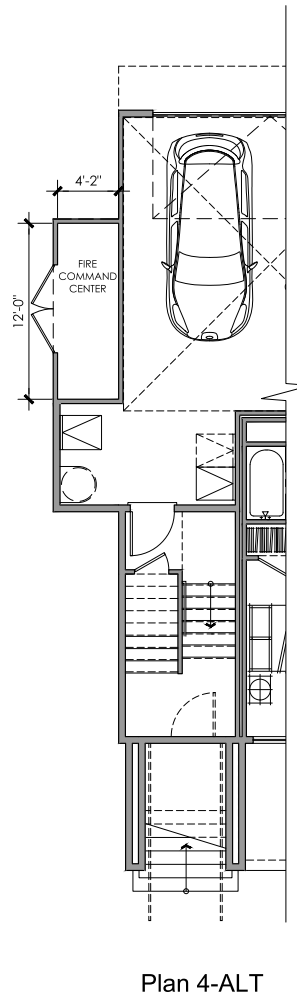
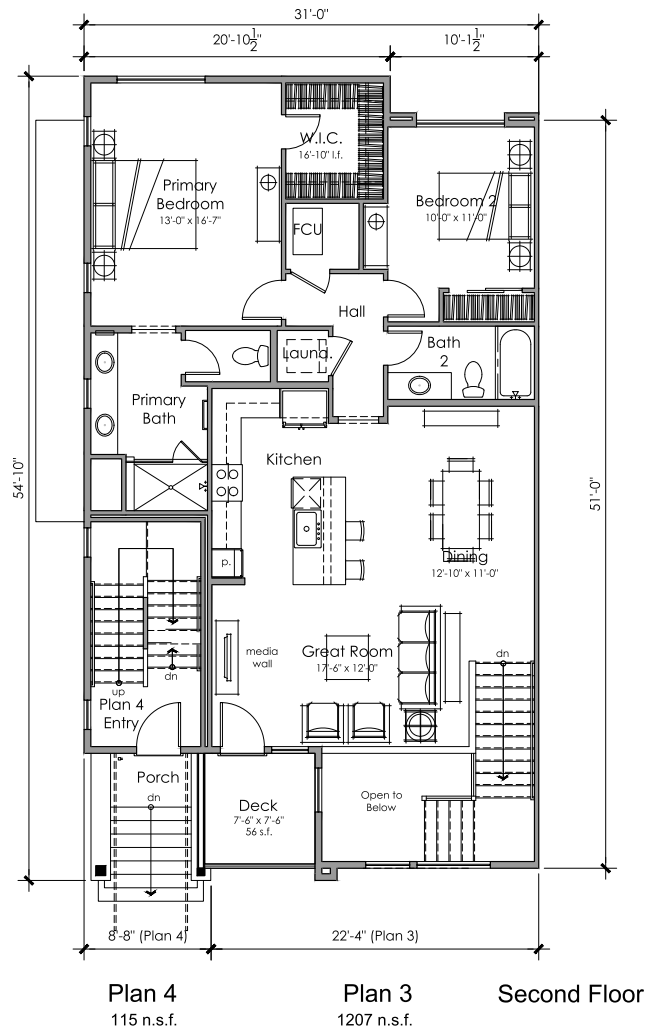




Plan 2 Summary
3 Bed / 3 Bath
1939 Total n.s.f.

Plan 1 Summary
2 Bed / 2 Bath
1283 Total n.s.f.





Plan 4 Summary
3 Bed / 3 Bath
2063 n.s.f.

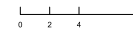
Plan 3 Summary
3 Bed / 3 Bath
1575 n.s.f.



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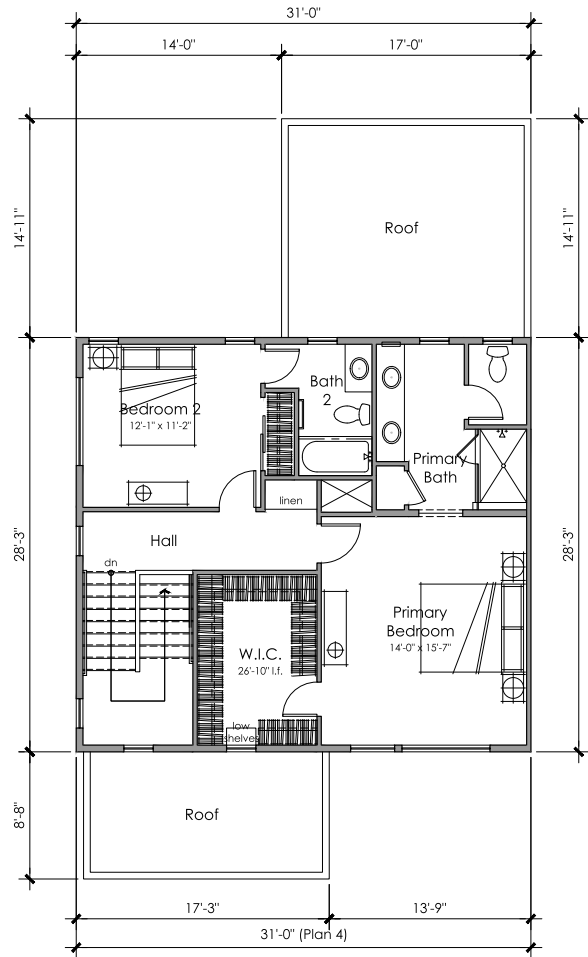
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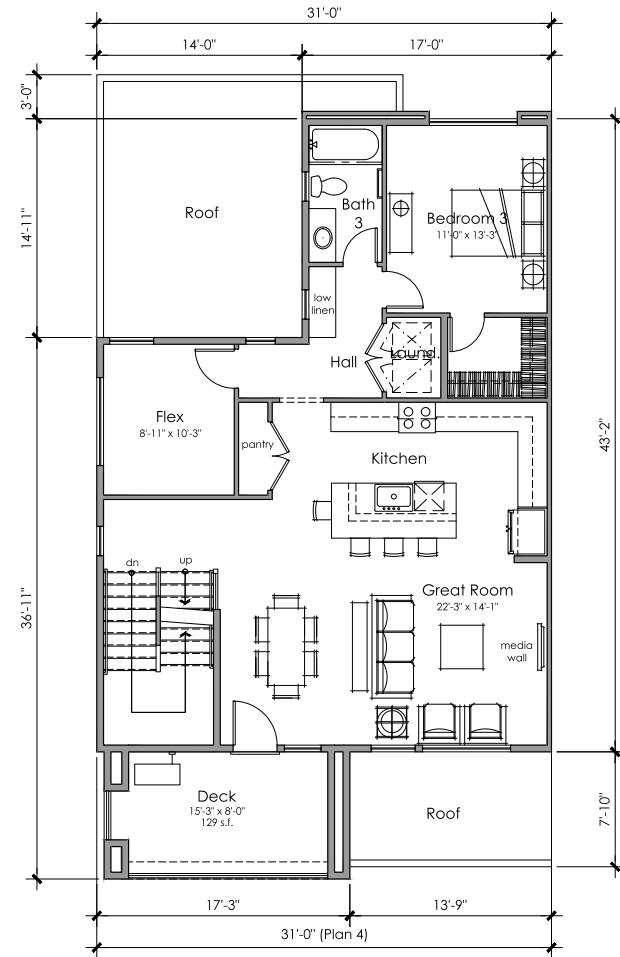


4 STORY CONDOMINIUM
PLAN 3-4_UNIT PLANS

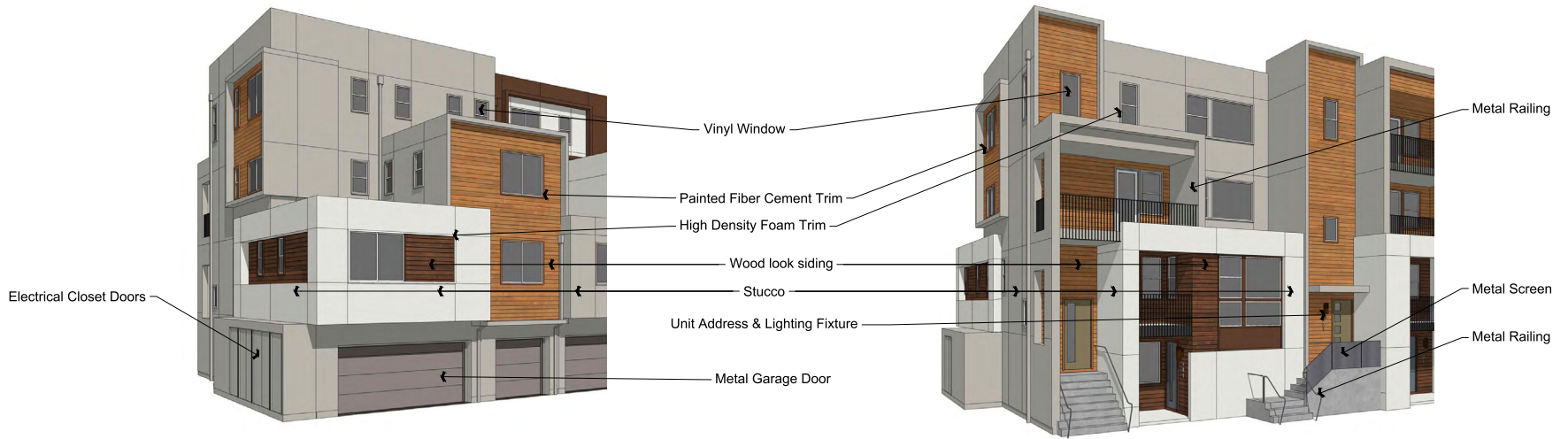
A 3-5.0.2



Plan 4 **Fourth Floor**
761 n.s.f.

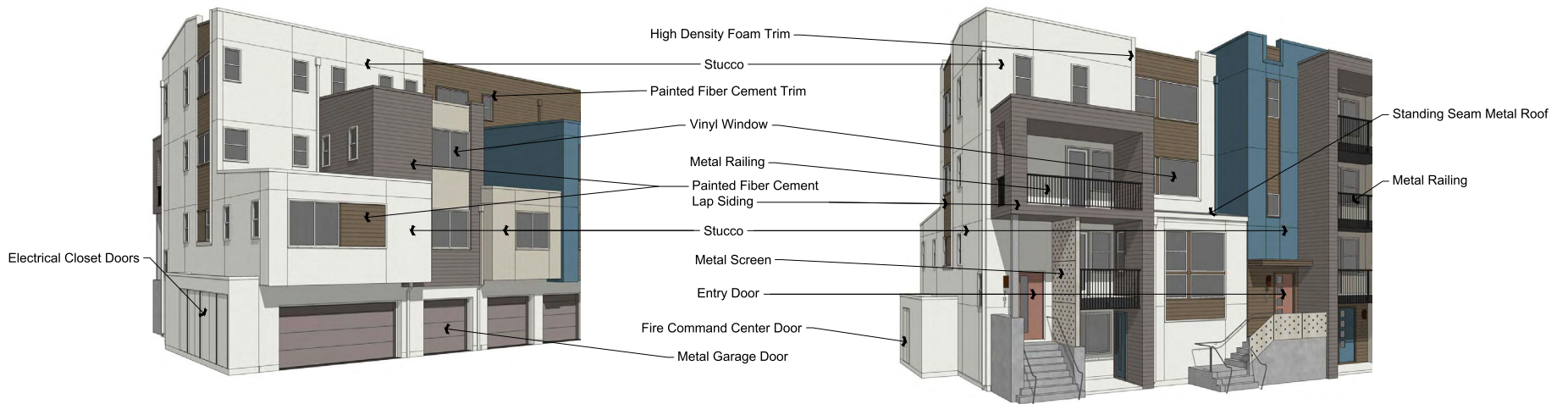


Plan 4 **Third Floor**
1069 n.s.f.



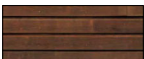
4. STYLE 2 - REAR

3. STYLE 2 - FRONT



2. STYLE 1 - REAR

1. STYLE 1 - FRONT

	STYLE 1	STYLE 2
STUCCO BODY 1 / TRIM 1	 SW 9624 WINSOME GRAY	 SW 6198 SENSIBLE HUE
STUCCO BODY 2 / TRIM 2	 SW 7614 ST. BART'S	 SW 6182 ETHEREAL WHITE
STUCCO BODY 3 / TRIM 3	 SW 6191 CONTENTED	N/A
HORIZONTAL LAP SIDING 1/ TRIM 4	 SW 7019 GAUNTLET GRAY	N/A
HORIZONTAL LAP SIDING 2/ TRIM 5	 SW 9609 LANDMARK	N/A
WOOD LOOK SIDING 1/ TRIM 6	N/A	 SUMMER WHEAT WOODTONE
WOOD LOOK SIDING 2/ TRIM 7	N/A	 WARM ESPRESSO WOODTONE
STANDING SEAM METAL ROOF	 ZINC GRAY	N/A
METAL SCREEN	 SW 6191 CONTENTED	 SW 7068 GRIZZLE GRAY
ENTRY DOOR 1	 SW 7614 ST. BART'S	 SW 7729 EDAMAME
ENTRY DOOR 2	 SW 6060 MOROCCAN SPICE	 SW 7665 WALL STREET
GARAGE DOOR	 SW 9579 TIMELESS TAUPE	 SW 9579 TIMELESS TAUPE

Manufacturers
 Paint - Sherwin Williams or Equal
 Garage door - Clopay garage doors or Equal
 Entry door - Therma Tru or Equal
 Wood Look Siding: Woodtone siding or Equal
 Composition Shingle Roof: GAF Roofing or Equal



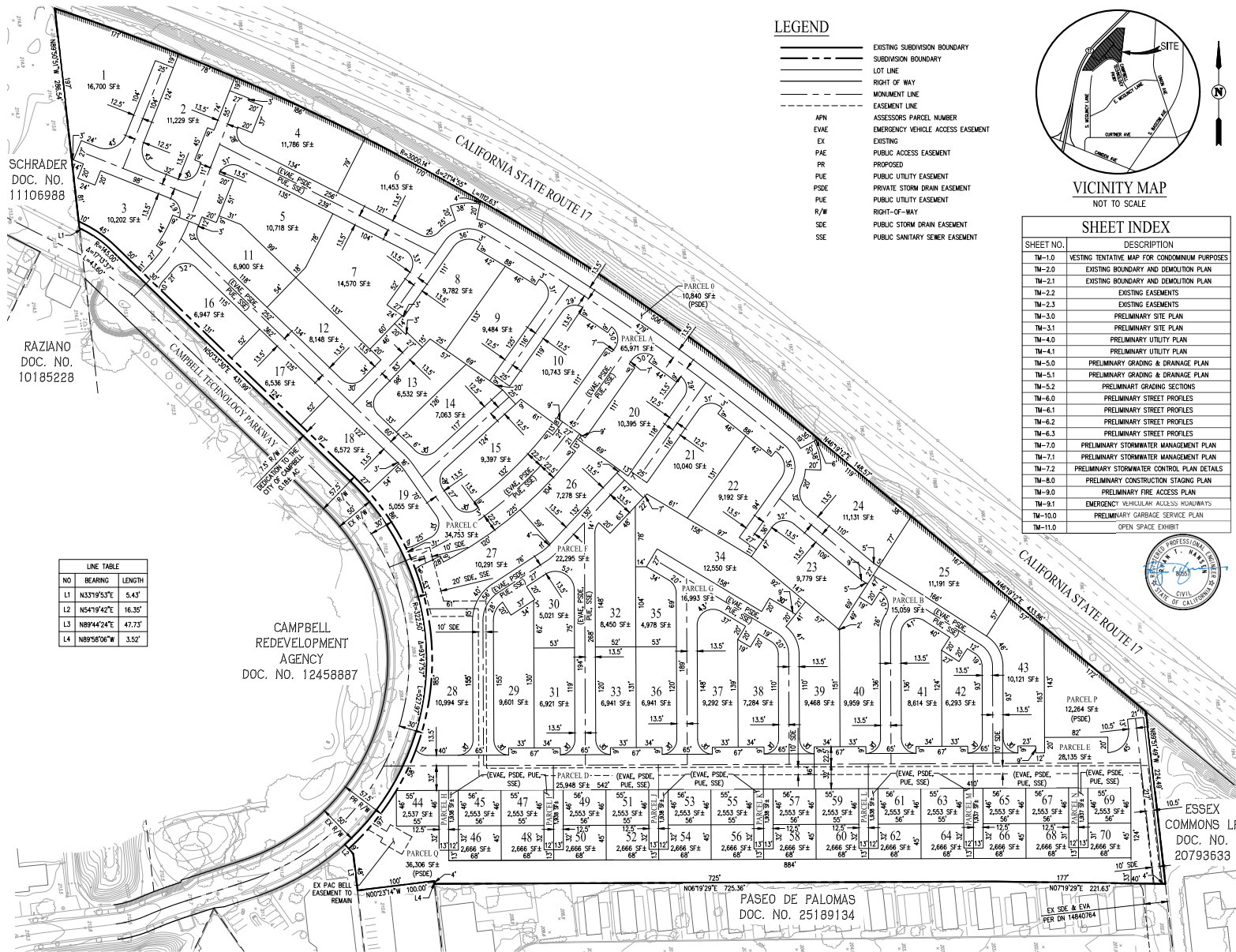
Campbell
Technology
Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

4 STORY CONDOMINIUM
COLORS & MATERIALS

A 3-7.0.0

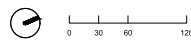


CONTACTS

- DEVELOPER: BAYWEST DEVELOPMENT GROUP INC.
JASON LAUR
90 BAYVIEW AVE
CAMPBELL, CA 95008
(925) 998-6060
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
RYAN HANSEN P.E.
2633 CAMINO RANCHO, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
- ARCHITECT: KITGY GROUP, INC.
JILL WILLIAMS
1814 FRANKLIN ST, SUITE 400
OAKLAND, CA 94612
(510) 463-0245
- GEOTECHNICAL ENGINEER: ENCO
2010 CROW CANYON PLACE, SUITE 250
SAN RAMON, CA
(925) 866-8000

GENERAL NOTES

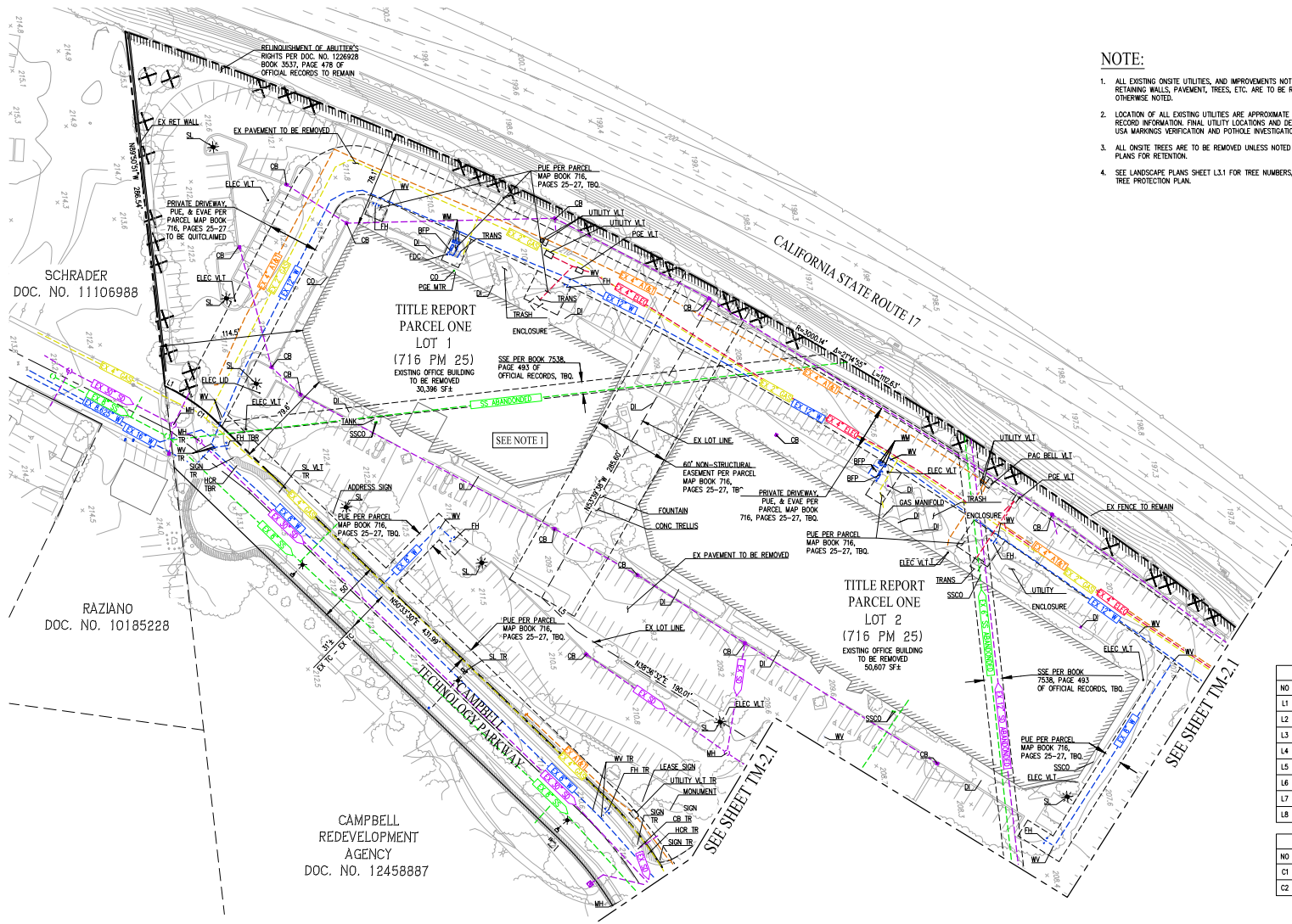
- AERIAL TOPOGRAPHY: BY GEOMAPS DATED MAY 25, 2023
- CONTOUR INTERVAL: 1 FOOT
- ASSESSORS PARCEL NO.: 412-29-010, 412-29-011, 412-29-012, 412-29-015
- SITE ADDRESS: 635, 655, 675, 695 CAMPBELL TECHNOLOGY PARKWAY
- EXISTING/PROPOSED ZONING: HO-MU (HIGH DENSITY MIXED-USE) & P-D (PLANNED DEVELOPMENT)
- EXISTING LAND USE: COMMERCIAL
- PROPOSED LAND USE: RESIDENTIAL
- SITE AREA: 17.28 AC±
- NET LOT AREA: 17.10 AC±
- DWELLING UNITS: 290 UNITS
- DENSITY: 16.96 DU/AC (NET)
- EXISTING STRUCTURES: EXISTING STRUCTURES ON THE SITE WILL BE DEMOLISHED PRIOR TO CONSTRUCTION.
- STREET TREES: STREET TREES SHALL BE PROVIDED AS REQUIRED BY THE CITY AND WILL BE PRIVATELY MAINTAINED.
- TREES: ALL EXISTING TREES WITHIN THE DEVELOPMENT OF THE SITE ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
- UTILITY PROVIDERS:
 - WATER: SAN JOSE WATER COMPANY
 - SANITARY SEWER: WEST VALLEY SANITATION DISTRICT
 - STORM DRAIN: CITY OF CAMPBELL
 - GAS & ELECTRIC: PG&E
 - TELEPHONE: TBO
 - CABLE TV: TBO
- UTILTY:
 - ALL ON-SITE DOMESTIC WATER MAINS WILL BE PUBLIC UP TO EACH INDIVIDUAL METER. SANITARY SEWER WILL BE PUBLIC UP TO THE UNIT CLEANOUT. THE STORM DRAIN SYSTEM SERVING JUST THE RESIDENTIAL DEVELOPMENT WILL BE PRIVATE. THE STORM DRAIN SYSTEM SERVING THE UPSTREAM OFF-SITE RUNOFF WILL BE PUBLIC.
- LIGHTING: ALL LIGHTING ON PRIVATE STREETS SHALL BE PRIVATELY MAINTAINED.
- TRASH: INDIVIDUAL TRASH CAN PICKUP IS TO BE PROVIDED BY WEST VALLEY COLLECTION AND RECYCLING.
- STREETS: ALL ON-SITE STREETS ARE TO BE PRIVATE AND PRIVATELY MAINTAINED.
- GRADING: PROPOSED GRADING AS SHOWN IS PRELIMINARY. FINISHED GRADING IS SUBJECT TO FINAL DESIGN.
- DIMENSIONS: ALL PARCEL AND LOT DIMENSIONS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL DESIGN.
- EROSION CONTROL: EROSION CONTROL WILL BE PREPARED PER CITY STANDARDS AND ABAG RECOMMENDATIONS.
- COMMON AREAS: COMMON AREAS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- FLOOD ZONE: ZONE X (SHADED): AREAS OF MINIMAL FLOOD HAZARD. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP. MAP NUMBERS 06085C0239H1 & 06085C0239H2 DATED: MAY 18, 2009
- BASIS OF BEARING: THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS ON CAMPBELL TECHNOLOGY PARKWAY. THE BEARING BEING N50°33'30"E PER PARCEL MAP (716 M.25).
- BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS A BRASS DISK SET IN CONCRETE BEING NOS MONUMENT DESIGNATION U 176 RESET, PD H35127, HAVING AN NAVD88 PUBLISHED ELEVATION OF 195.29 FEET.
- CONDOMINIUM MAP: A CONDOMINIUM PLAN WILL BE RECORDED FOR LOTS 1 THROUGH 43. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS SET FORTH IN SECTION 4285 ET. SEC. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE NO MORE THAN 263 RESIDENTIAL CONDOMINIUM UNITS FOR LOTS 1 THROUGH 43.
- EASEMENTS: PARCELS A THROUGH N ARE TO INCLUDE THE FOLLOWING PUBLIC AND PRIVATE EASEMENTS TO SERVE ON-SITE PRIVATE AND PUBLIC FACILITIES AND PROVIDE GRANT ACCESS AS NOTED: EAVE, PSDE, PUE, SDE AND SSE. EASEMENTS MAY CHANGE SUBJECT TO FINAL DESIGN.



VESTING TENTATIVE MAP FOR
CONDOMINIUM PURPOSES

TM-1.0

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NOTE:

1. ALL EXISTING ON-SITE UTILITIES, AND IMPROVEMENTS NOT LIMITED TO BUILDINGS, RETAINING WALLS, PAVEMENT, TREES, ETC. ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
2. LOCATION OF ALL EXISTING UTILITIES ARE APPROXIMATE BASED ON FIELD AND RECORD INFORMATION. FINAL UTILITY LOCATIONS AND DEPTHS ARE SUBJECT TO USA MARKINGS VERIFICATION AND POT-HOLE INVESTIGATIONS.
3. ALL ON-SITE TREES ARE TO BE REMOVED UNLESS NOTED ON THE LANDSCAPE PLANS FOR RETENTION.
4. SEE LANDSCAPE PLANS SHEET L3.1 FOR TREE NUMBERS, TREE REMOVAL, AND TREE PROTECTION PLAN.

LEGEND

---	BOUNDARY LINE
---	MONUMENT LINE
---	EASEMENT LINE
---	ADJACENT PROPERTY LINE
---	EXISTING LOT LINE
---	RETAINING WALL
---	EXISTING STORM DRAIN MAIN
---	EXISTING WATER MAIN
---	EXISTING SANITARY SEWER MAIN
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING AT&T LINE
---	EXISTING STORM DRAIN FIELD INLET
---	EXISTING FIRE HYDRANT
---	EXISTING BACK FLOW
---	EXISTING PRESSURE INDICATOR VALVE
---	EXISTING FIRE DEPARTMENT CONNECTION
---	EXISTING WATER VALVE
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING SANITARY SEWER CLEANOUT
---	EXISTING UTILITY BOX/VAULT
---	EXISTING STREET LIGHT
---	EXISTING TREE TO BE REMOVED
---	EXISTING TREE TO REMAIN
N	NORTH
S	SOUTH
E	EAST
W	WEST
BULD	BUILDING
BFP	BACK FLOW PREVENTER
OB	CATCH BASIN
CONC	CONCRETE
DRWY	DRIVEWAY
DI	DRAIN INLET
ELEC	ELECTRICAL
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FS	FIRE SERVICE
GM	GAS METER
HCR	HANDICAP RAMP
LAT	LATERAL
PB	PULL BOX
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
PP	POWER POLE
PUE	PUBLIC UTILITY EASEMENT
SL	STREET LIGHT
SSCO	SANITARY SEWER CLEAN OUT
SSE	SANITARY SEWER EASEMENT
TBR	TO BE REMOVED
TBO	TO BE OUTLINED
TR	TO REMAIN
UTL	UTILITY
VLT	VAULT
WLE	WATER LINE EASEMENT
WM	WATER METER
WS	WATER SERVICE
WV	WATER VALVE

NO	BEARING	LENGTH
L1	N33°19'53"E	5.43'
L2	N54°19'42"E	16.35'
L3	N89°44'24"E	47.73'
L4	N89°58'06"W	3.52'
L5	N50°33'30"E	38.53'
L6	N51°23'28"W	25.73'
L7	N51°23'28"W	17.45'
L8	N25°43'39"W	26.99'

NO	RADIUS	DELTA	LENGTH
C1	145.00'	171°33'37"	43.60'
C2	137.50'	25°36'40"	61.59'



Campbell Technology Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

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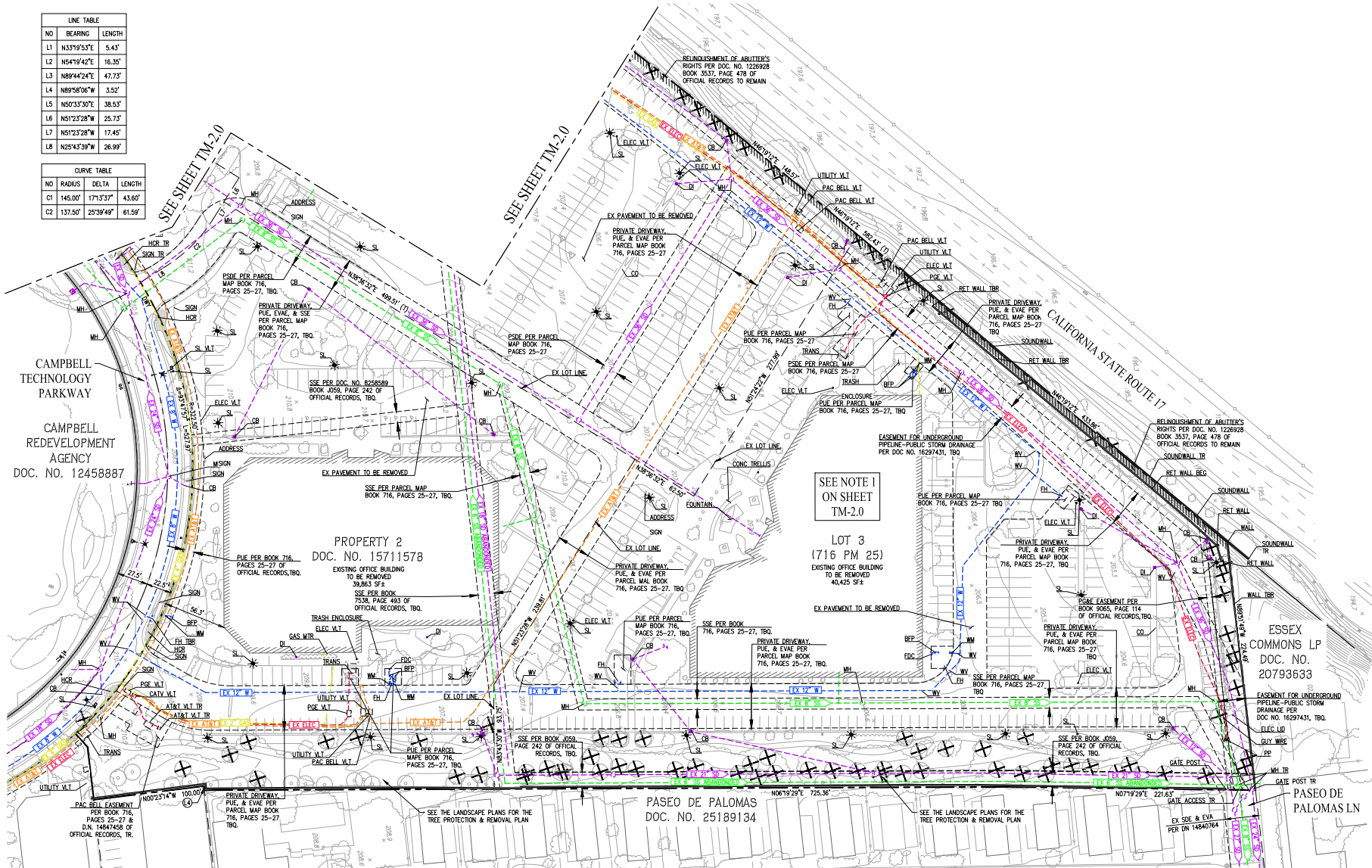
EXISTING BOUNDARY AND DEMOLITION PLAN

TM-2.0

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LINE TABLE		
NO	BEARING	LENGTH
L1	N33°19'53"E	5.43'
L2	N54°19'42"E	16.35'
L3	N89°44'24"E	47.73'
L4	N89°58'06"W	3.52'
L5	N50°33'30"E	38.53'
L6	N51°23'28"W	25.73'
L7	N51°23'28"W	17.45'
L8	N25°43'39"W	26.99'

CURVE TABLE		
NO	RADIUS	DELTA
C1	145.00'	171°3'37"
C2	137.50'	25°39'49"



CARLSON,
BARBEE &
GIBSON, INC.



GATES
+ ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING URBAN DESIGN

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Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 15, 2023

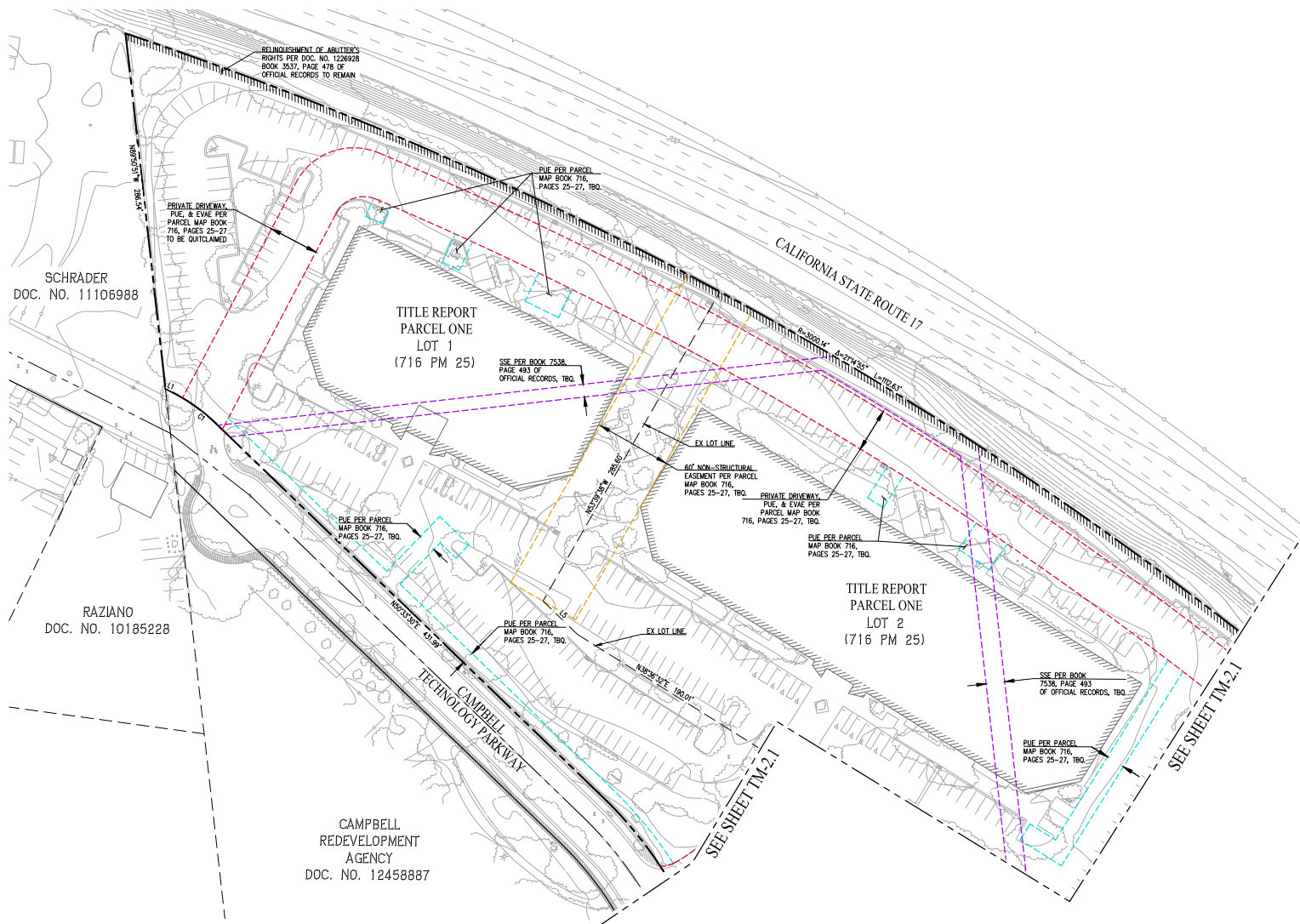


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EXISTING BOUNDARY AND DEMOLITION PLAN

TM-2.1

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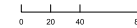


LEGEND

---	BOUNDARY LINE
---	MONUMENT LINE
---	EASEMENT LINE
---	ADJACENT PROPERTY LINE
---	EXISTING LOT LINE
---	EXISTING PRIVATE DRIVEWAY, PUE, & EAVE EASEMENT PER BOOK 716
---	EXISTING PUBLIC UTILITY EASEMENT PER BOOK 716
---	EXISTING NON-STRUCTURAL EASEMENT PER BOOK 716
---	EXISTING SANITARY SEWER EASEMENT PER BOOK 7538
---	EXISTING SANITARY SEWER EASEMENT PER BOOK 716
---	EXISTING SANITARY SEWER EASEMENT PER BOOK J059
---	EXISTING STORM DRAIN EASEMENT PER BOOK 716
---	EXISTING PG&E EASEMENT PER BOOK 9065
EX	EXISTING
EAVE	EMERGENCY VEHICLE ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
SSE	STORM DRAIN EASEMENT
SSE	SANITARY SEWER EASEMENT
TBO	TO BE OUTCLAIMED
TR	TO REMAIN

LINE TABLE		
NO	BEARING	LENGTH
L1	N33°19'53"E	5.43'
L2	N54°19'42"E	16.35'
L3	N89°44'24"E	47.73'
L4	N89°58'06"W	3.52'
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L6	N51°23'28"W	25.73'
L7	N51°23'28"W	17.45'
L8	N25°43'39"W	26.99'

CURVE TABLE			
NO	RADIUS	DELTA	LENGTH
C1	145.00'	171°33'37"	43.60'
C2	137.50'	25°39'40"	61.59'



EXISTING EASEMENTS

TM-2.2

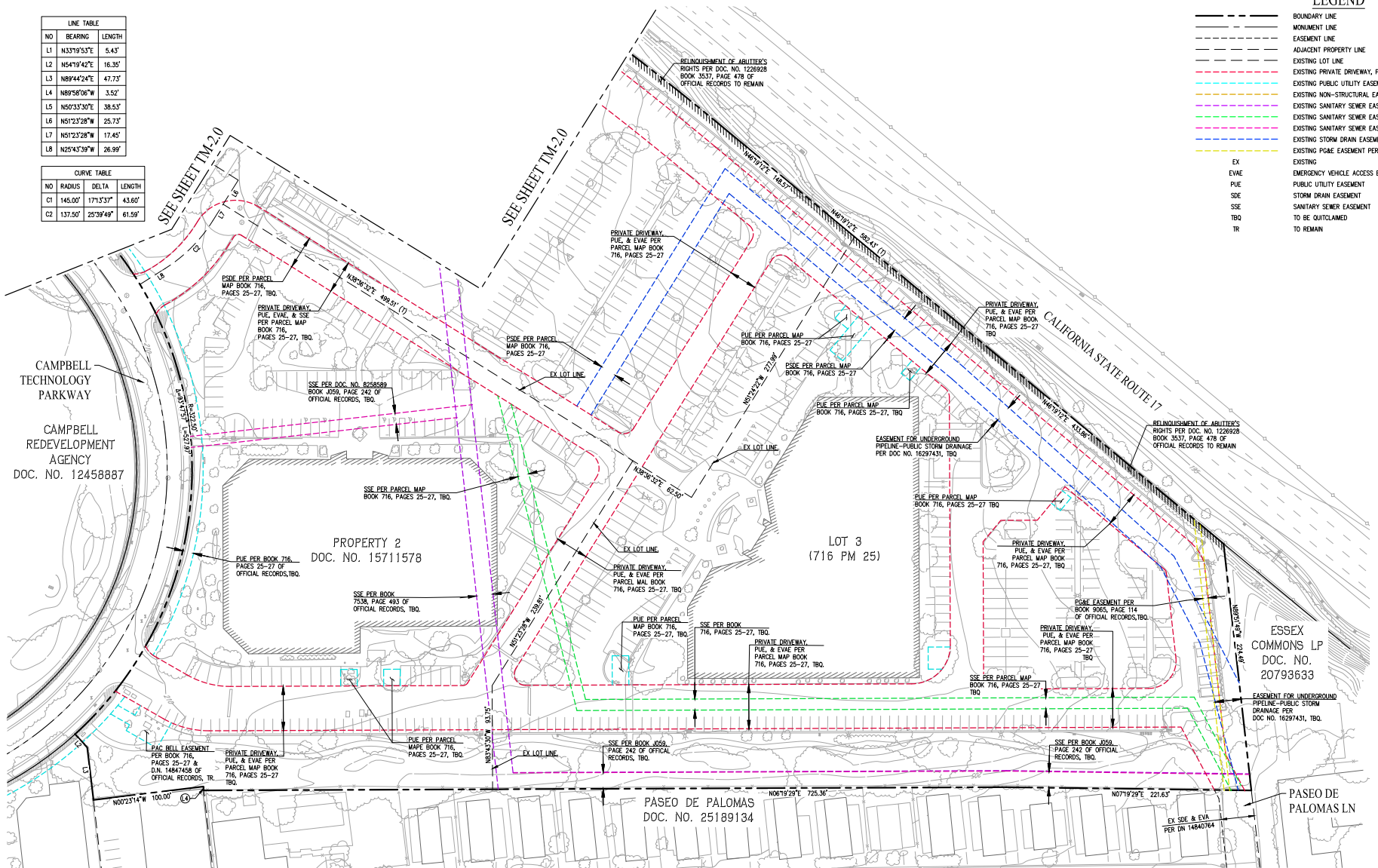
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LINE TABLE		
NO	BEARING	LENGTH
L1	N33°19'53"E	5.43'
L2	N54°19'42"E	16.35'
L3	N89°44'24"E	47.73'
L4	N89°58'06"W	3.52'
L5	N50°33'30"E	38.53'
L6	N51°23'28"W	25.73'
L7	N51°23'28"W	17.45'
L8	N25°43'39"W	26.99'

CURVE TABLE			
NO	RADIUS	DELTA	LENGTH
C1	145.00'	171°3'37"	43.60'
C2	137.50'	25°39'49"	61.59'

LEGEND

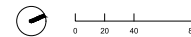
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---	MONUMENT LINE
---	EASEMENT LINE
---	ADJACENT PROPERTY LINE
---	EXISTING LOT LINE
---	EXISTING PRIVATE DRIVEWAY, PUE, & EAVE EASEMENT PER BOOK 716
---	EXISTING PUBLIC UTILITY EASEMENT PER BOOK 716
---	EXISTING NON-STRUCTURAL EASEMENT PER BOOK 7538
---	EXISTING SANITARY SEWER EASEMENT PER BOOK 716
---	EXISTING SANITARY SEWER EASEMENT PER BOOK 716
---	EXISTING SANITARY SEWER EASEMENT PER BOOK 716
---	EXISTING STORM DRAIN EASEMENT PER BOOK 716
---	EXISTING PG&E EASEMENT PER BOOK 9065
---	EXISTING
---	EMERGENCY VEHICLE ACCESS EASEMENT
---	PUE
---	PUBLIC UTILITY EASEMENT
---	SSE
---	STORM DRAIN EASEMENT
---	SSE
---	SANITARY SEWER EASEMENT
---	TO BE OUTCLAIMED
---	TR
---	TO REMAIN



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EXISTING EASEMENTS

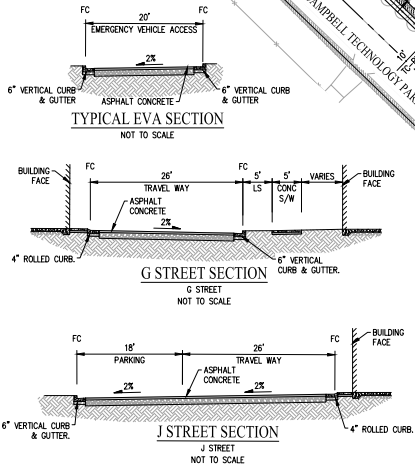
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SCHRADER
DOC. NO.
11106988

RAZIANO
DOC. NO.
10185228



CAMPBELL
REDEVELOPMENT
AGENCY
DOC. NO. 12458887

- NOTE:**
- SEE LANDSCAPE PLANS BY OTHERS FOR ALL LANDSCAPE & IRRIGATION DETAILS.
 - SEE LANDSCAPE PLANS FOR ALL WALKWAY SURFACE TYPE DETAILS.
 - ALL PEDESTRIAN STREET CROSSINGS WILL BE PROVIDED WITH AN ACCESSIBLE CURB RAMP & TRUNCATED CONES AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DRAWINGS.

PARKING SUMMARY		
PARKING PROVIDED		
RESIDENTIAL IN GARAGE PARKING STALLS	580	
ON SITE PARKING STALLS	138	
TOTAL PROVIDED PARKING STALLS	718	
SITE PARKING USE SUMMARY		
ACCESSIBLE PARKING STALLS	7	
ELECTRIC VEHICLE CAPABLE STALLS (EC)	14	
ELECTRIC VEHICLE READY STALLS (ER)	35	
ELECTRIC VEHICLE CHARGER STALLS (EV)	7	

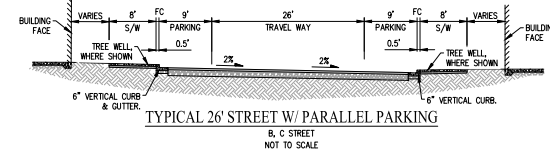
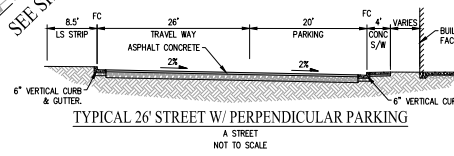
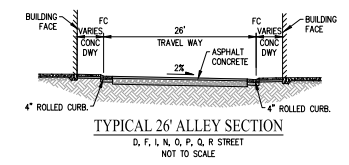
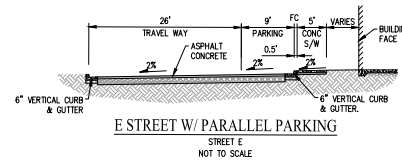
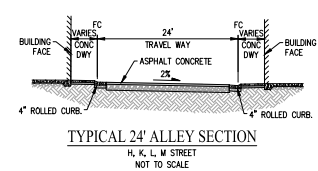
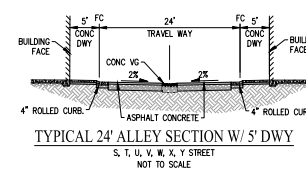
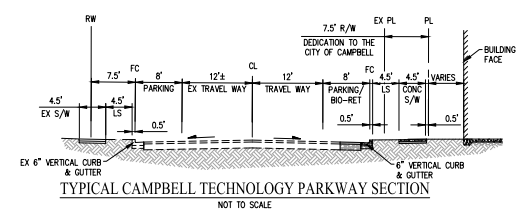
ACCESSIBLE UNIT COUNT SUMMARY		
# UNITS	REQUIRED ADA UNIT COUNT	PROVIDED ADA UNIT COUNT
149 TOWNHOMES	15	15
114 TROGBACK	12	12
263 TOTAL	27	27

LEGEND:

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- MONUMENT LINE
- CENTERLINE
- RIGHT OF WAY LINE
- LOT LINE
- PROPOSED EASEMENT LINE
- PROPOSED RETAINING WALL
- PROPOSED DEEPENED SIDEWALK CURB
- ACCESSIBLE PEDESTRIAN PATH OF TRAVEL
- ASPHALT PAVEMENT
- UNPAVED AND VISITOR PARKING STALL (ASPHALT PAVEMENT)
- ACCESSIBLE PARKING STALL
- ACCESSIBLE UNIT
- CONCRETE DRIVEWAY
- BIO-RETENTION AREA
- PARKING COUNT
- LADDER PAD

ABBREVIATIONS

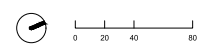
- BIO-RET BIO-RETENTION
- CL CENTERLINE
- CONC CONCRETE
- DWY DRIVEWAY
- EC ELECTRIC VEHICLE CAPABLE PARKING STALL
- ER ELECTRIC VEHICLE READY PARKING STALL
- EV ELECTRIC VEHICLE PARKING STALL
- EWAE EMERGENCY VEHICLE ACCESS EASEMENT
- EX EXISTING
- FC FACE OF CONCRETE & GUTTER CURB
- LS LANDSCAPE
- ML MONUMENT LINE
- MN MINIMUM
- PAE PUBLIC ACCESS EASEMENT
- PL PROPERTY LINE
- PR PROPOSED
- R/W RIGHT OF WAY
- S/W SIDEWALK
- TC TOP OF CONCRETE CURB & GUTTER
- TYP TYPICAL
- VG VALLEY GUTTER



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PRELIMINARY SITE PLAN

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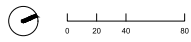
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Campbell, CA # 2023-0039

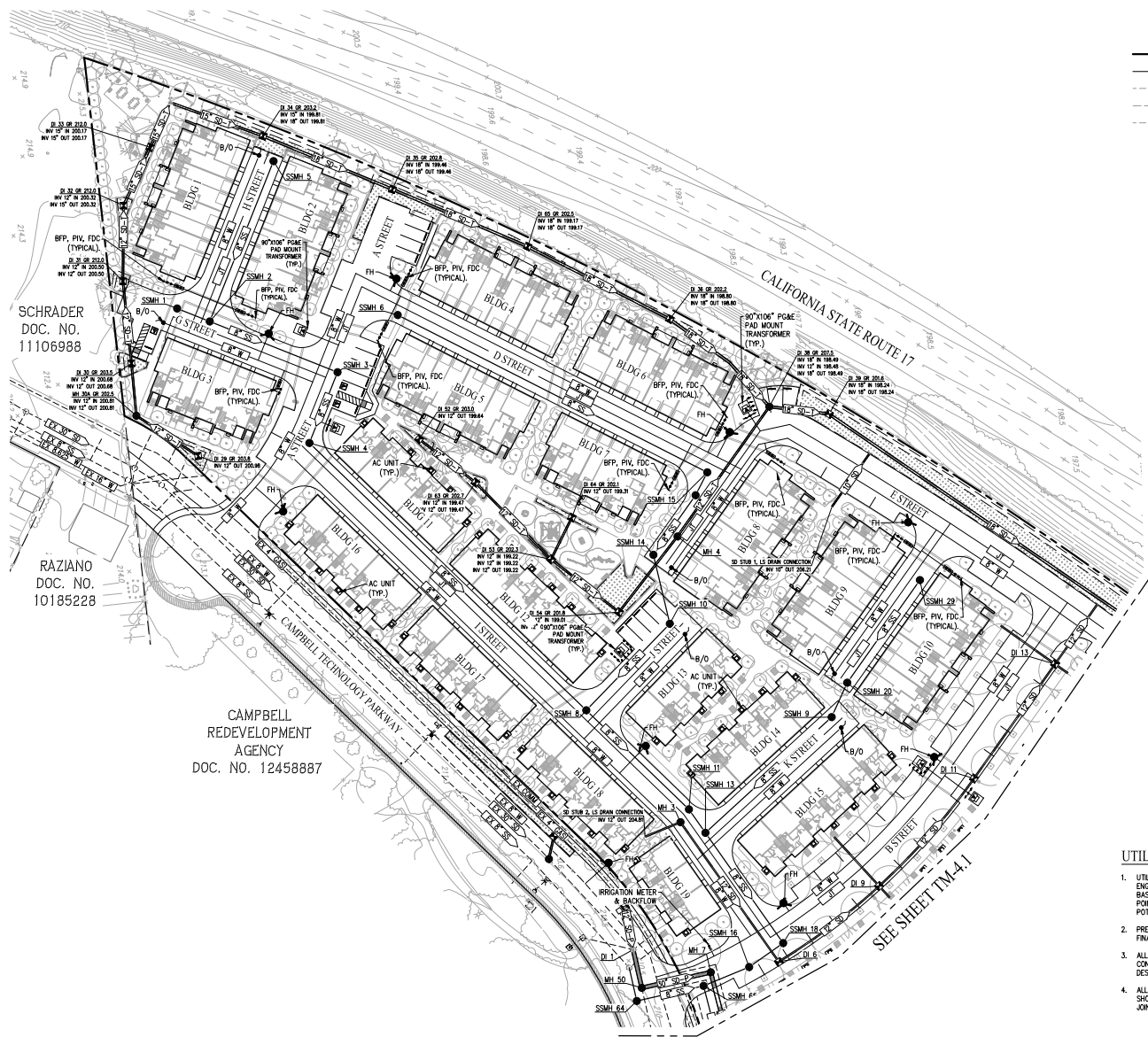
DESIGN REVIEW
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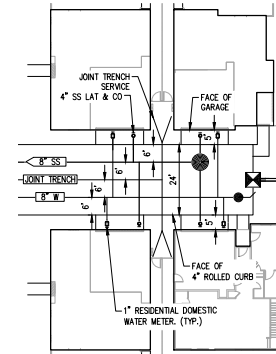
PRELIMINARY SITE PLAN

TM-3.1

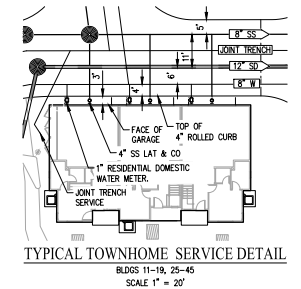
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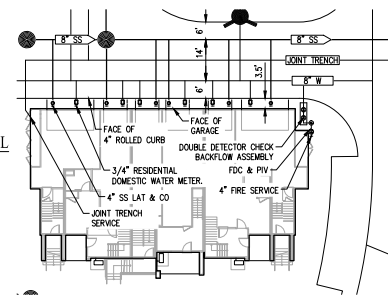
LEGEND:		ABBREVIATIONS	
EXISTING	PROPOSED	DESCRIPTION	
---	---	PROPERTY LINE	BFP BACK FLOW PREVENTER
---	---	RIGHT OF WAY	BLDG BUILDING
---	---	WATER MAIN	B/O BLOW OFF VALVE
---	---	SANITARY SEWER PIPE	CB CATCH BASIN
---	---	STORM DRAIN PIPE (UNTREATED)	DI DRAIN INLET
---	---	STORMWATER PIPE (TREATED)	ELEC ELECTRICAL
---	---	STORMWATER PIPE (PUBLIC)	EX EXISTING
---	---	JOINT TRENCH	FDC FIRE DEPARTMENT CONNECTION
---	---	STORM DRAIN INLET	FH FIRE HYDRANT
---	---	MANHOLE	FS FIRE SERVICE
---	---	FIRE HYDRANT	JT JOINT TRENCH
---	---	BACK FLOW PREVENTER	LAT LATERAL
---	---	FIRE DEPARTMENT CONNECTION	LS LANDSCAPE
---	---	POST INDICATOR VALVE	PIV POST INDICATOR VALVE
---	---	BIO-RETENTION AREA	PP POWER POLE
---	---	90"x106" PG&E PAD MOUNT TRANSFORMER	SL STREET LIGHT
---	---	50"x52" PG&E PAD MOUNT TRANSFORMER	SS SANITARY SEWER
---	---	VALVE	SSGO SANITARY SEWER CLEAN OUT
---	---	STREET LIGHT	UTIL UTILITY
---	---	UTILITY BOX/VAULT	VLT VAULT
---	---	AC UNIT	WM WATER METER
---	---		WS WATER SERVICE
---	---		WV WATER VALVE



TYPICAL SINGLE FAMILY SERVICE DETAIL
BLDG 46-73
SCALE 1" = 20'



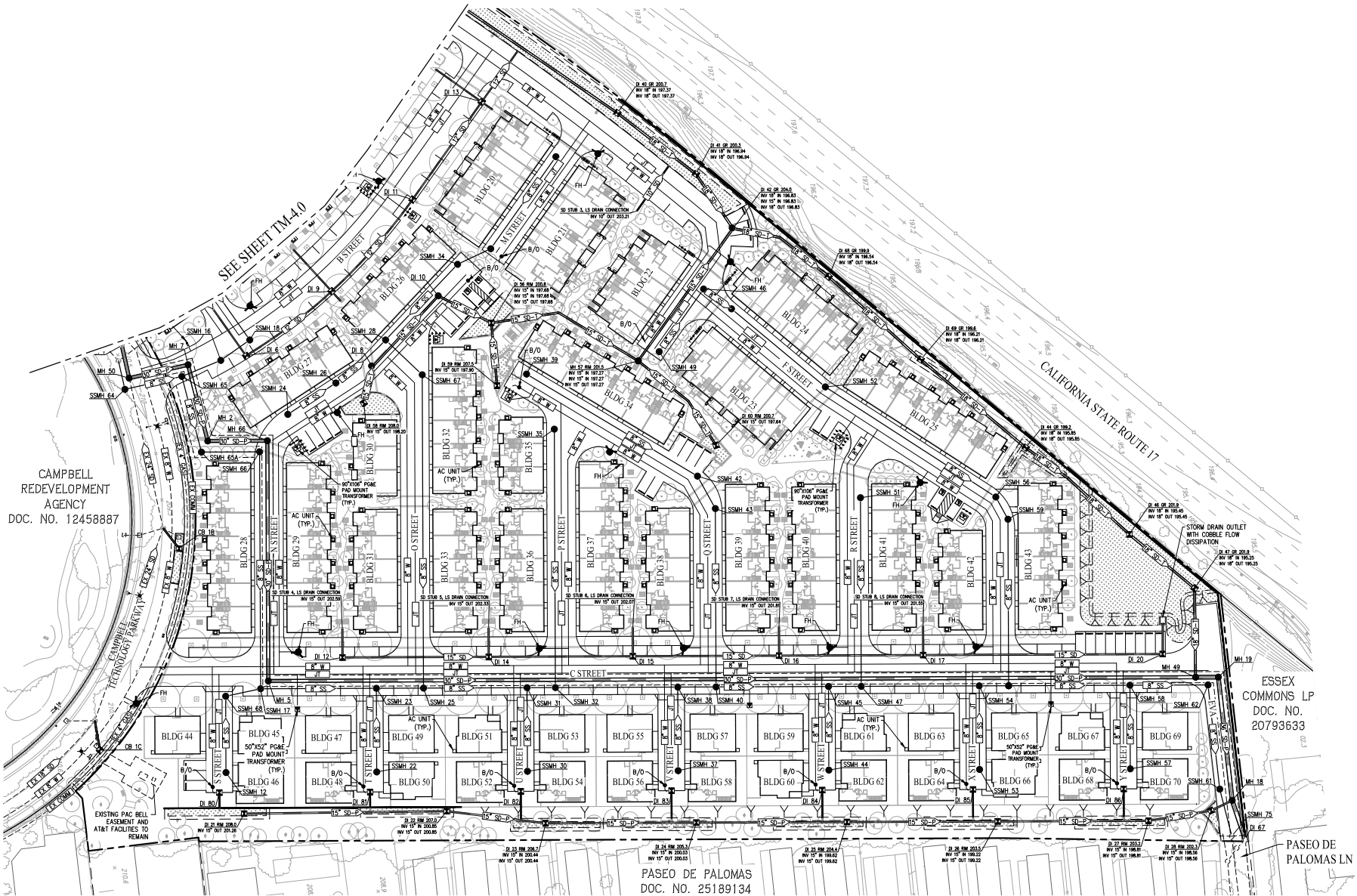
TYPICAL TOWNHOME SERVICE DETAIL
BLDG 11-18, 25-45
SCALE 1" = 20'



TYPICAL PIGGYBACK SERVICE DETAIL
BLDG 1-10, 20-24
SCALE 1" = 20'

UTILITY NOTES:

1. UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING UTILITY LOCATIONS ARE APPROXIMATE BASED ON RECORD INFORMATION AND FIELD SURVEY DATA. UTILITY POINT OF CONNECTIONS SHALL BE VERIFIED WITH USA MARKINGS AND POT-HOLE INFORMATION.
2. PRELIMINARY DOMESTIC AND FIRE SERVICE SIZES ARE SUBJECT TO FINAL PLUMBING ENGINEERS DESIGN.
3. ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING ENGINEERS DESIGN.
4. ALL JOINT TRENCH MAINS AND TRANSFORMER LOCATIONS HAVE BEEN SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO THE FINAL JOINT TRENCH CONSULTANTS DESIGN.



CAMPBELL
REDEVELOPMENT
AGENCY
DOC. NO. 12458887

ESSEX
COMMONS LP
DOC. NO.
20793633

PASEO DE PALOMAS
DOC. NO. 25189134

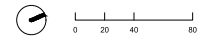
PASEO DE
PALOMAS LN



Campbell
Technology
Park LLC

Campbell Technology Park
Campbell, CA # 2023-0039

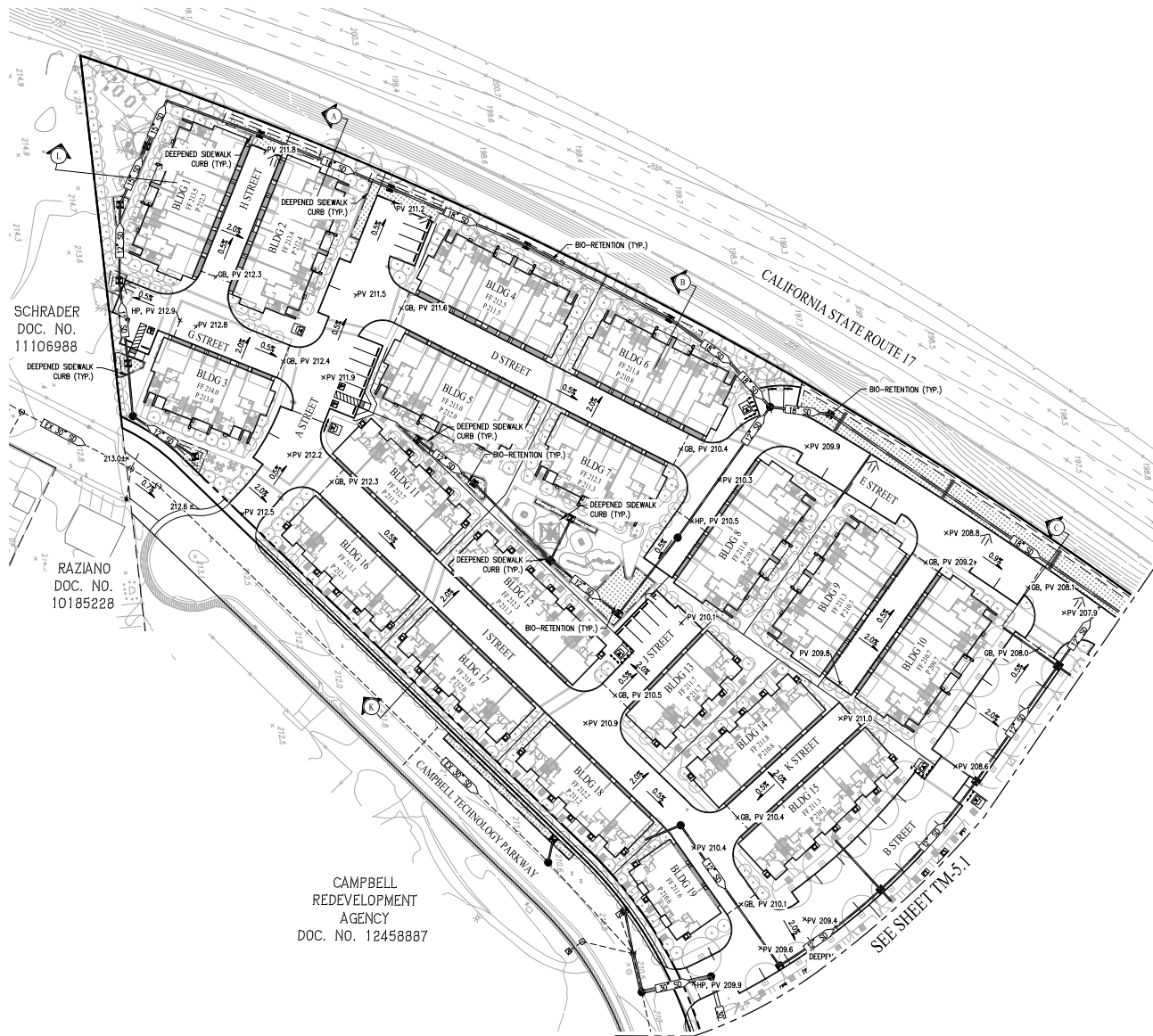
DESIGN REVIEW
JANUARY 15, 2023



PRELIMINARY UTILITY PLAN

TM-4.1

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EXISTING

PROPOSED

PROPERTY LINE

RIGHT OF WAY

STORM DRAIN

TRENCH DRAIN

RETAINING WALL

DEEPEDED SIDEWALK CURB

DEEPEDED FOOTING

STORM DRAIN FIELD INLET

MANHOLE

AREA DRAIN

BIO-RETENTION AREA

CURB CUT/SLOT DRAIN

DIRECTION OF OVERLAND RELEASE

DESCRIPTION

PROPERTY LINE

RIGHT OF WAY

STORM DRAIN

TRENCH DRAIN

RETAINING WALL

DEEPEDED SIDEWALK CURB

DEEPEDED FOOTING

STORM DRAIN FIELD INLET

MANHOLE

AREA DRAIN

BIO-RETENTION AREA

CURB CUT/SLOT DRAIN

DIRECTION OF OVERLAND RELEASE

ABBREVIATIONS

BLDG

BR

CB

DI

E/B

EG

EX

FC

FF

GB

HP

LAT

LL

LP

LS

PR

PV

RW

RET

SD

SDMH

SL

STND

TGB

WAL

W/B

BUILDING

BIORETENTION

CATCH BASIN

DRAIN INLET

EASTBOUND

EXISTING GRADE

EXISTING

FACE OF CURB

FINISHED FLOOR

GRADE BREAK

HIGH POINT

LATERAL

LOT LINE

LOW POINT

LANDSCAPE

PROPOSED

PAVEMENT

RIGHT OF WAY

RETAINING

STORM DRAIN

STORM DRAIN MANHOLE

STREET LIGHT

STANDARD

TOP OF CONCRETE BAND

WALL

WESTBOUND

PRELIMINARY ESTIMATED ROUGH GRADING EARTHWORK SUMMARY			
DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)
ROUGH GRADING	10,000	23,000	13,000 (F)
UTILITY & BIORETENTION SPOILS	8,000	0	8,000 (C)
TOTAL	18,000	23,000	5,000 (F)

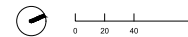
- NOTE:
- ROUGH GRADING AND EARTHWORK QUANTITIES, ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
 - ALL REQUIRED ADA ACCESSIBLE UNITS FOR THE PROPOSED TOWNHOMES WILL BE DESIGNED PER CBC REQUIREMENTS. SEE SHEET TM-3.0 FOR PRELIMINARY ACCESSIBLE UNIT LOCATIONS.
 - MAXIMUM DEPTH OF CUT IS ROUGHLY 8' AND THE MAXIMUM DEPTH OF FILL IS ROUGHLY 9'. THE MAXIMUM DEPTHS OF CUT AND FILL ARE PRELIMINARY AND ARE SUBJECT TO THE FINAL DESIGN.



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Campbell, CA # 2023-0039

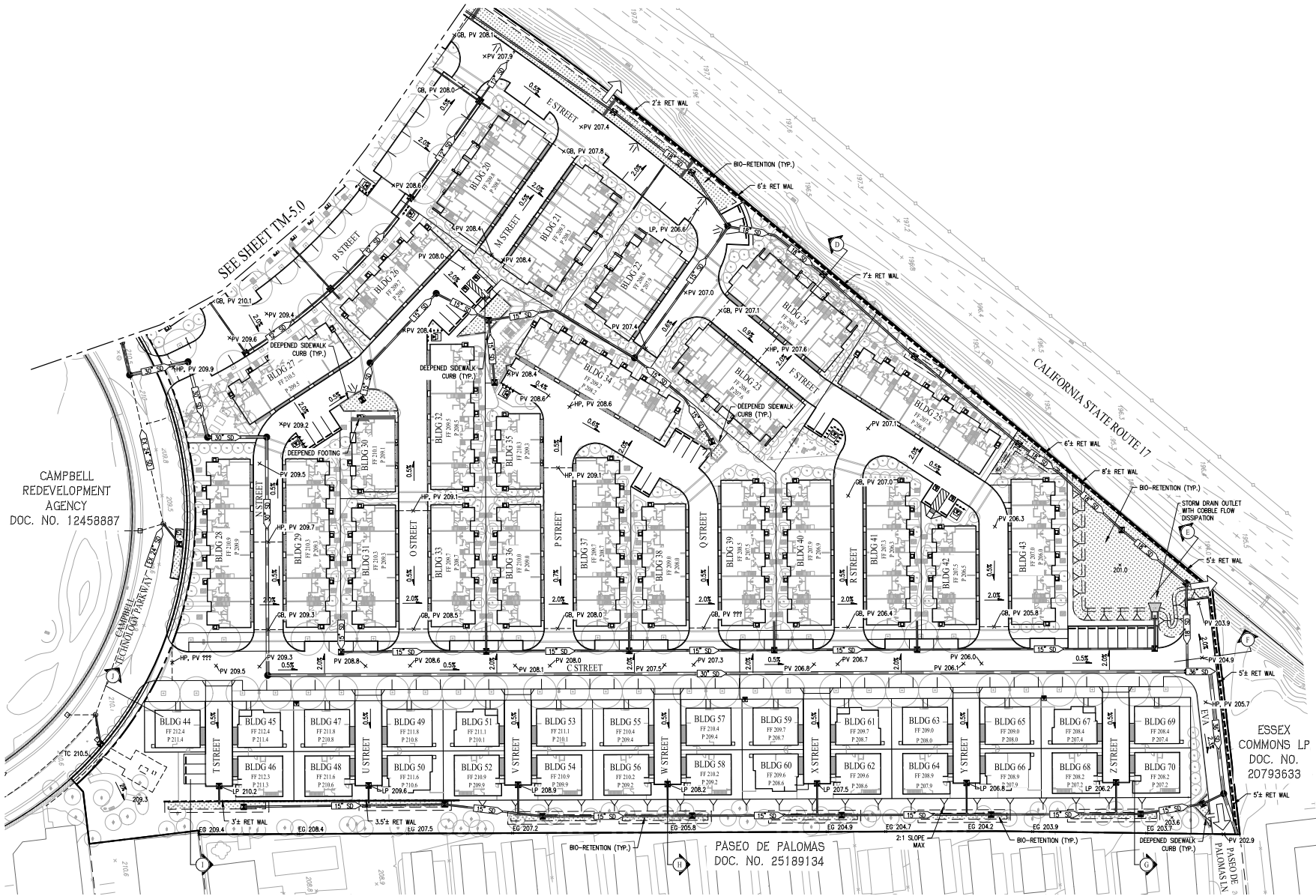
DESIGN REVIEW
JANUARY 15, 2023



PRELIMINARY GRADING & DRAINAGE PLAN

TM-5.0

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CARLSON,
BARBEE &
GIBSON, INC.



GATES
+ ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING, URBAN DESIGN

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Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 15, 2023

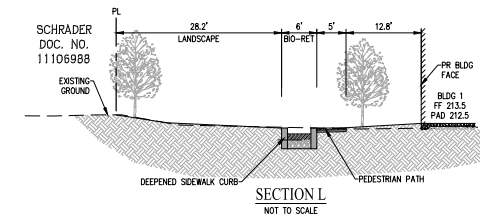
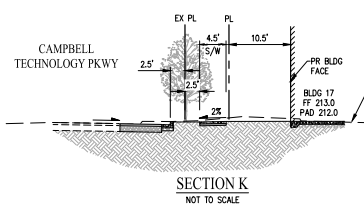
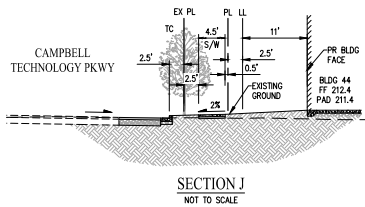
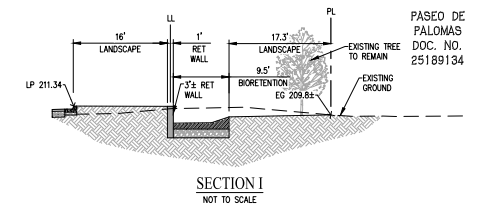
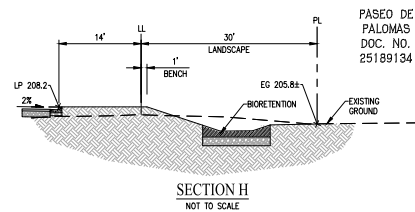
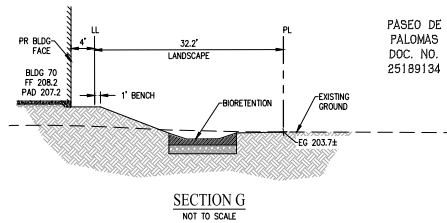
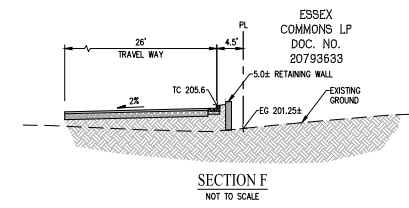
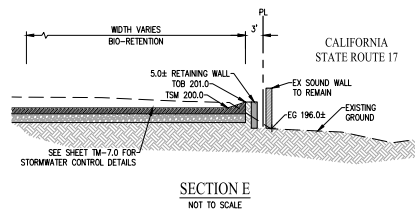
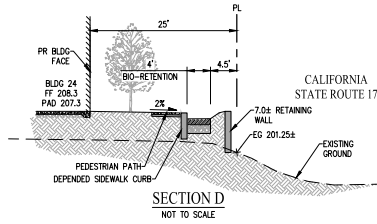
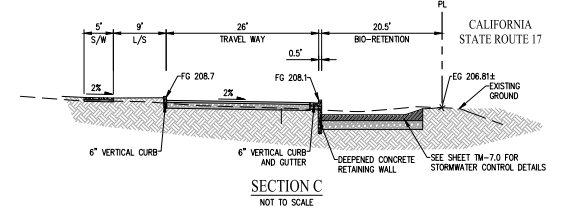
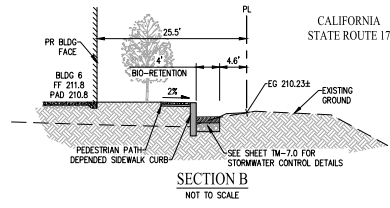
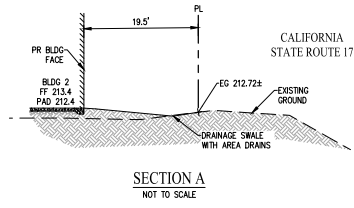


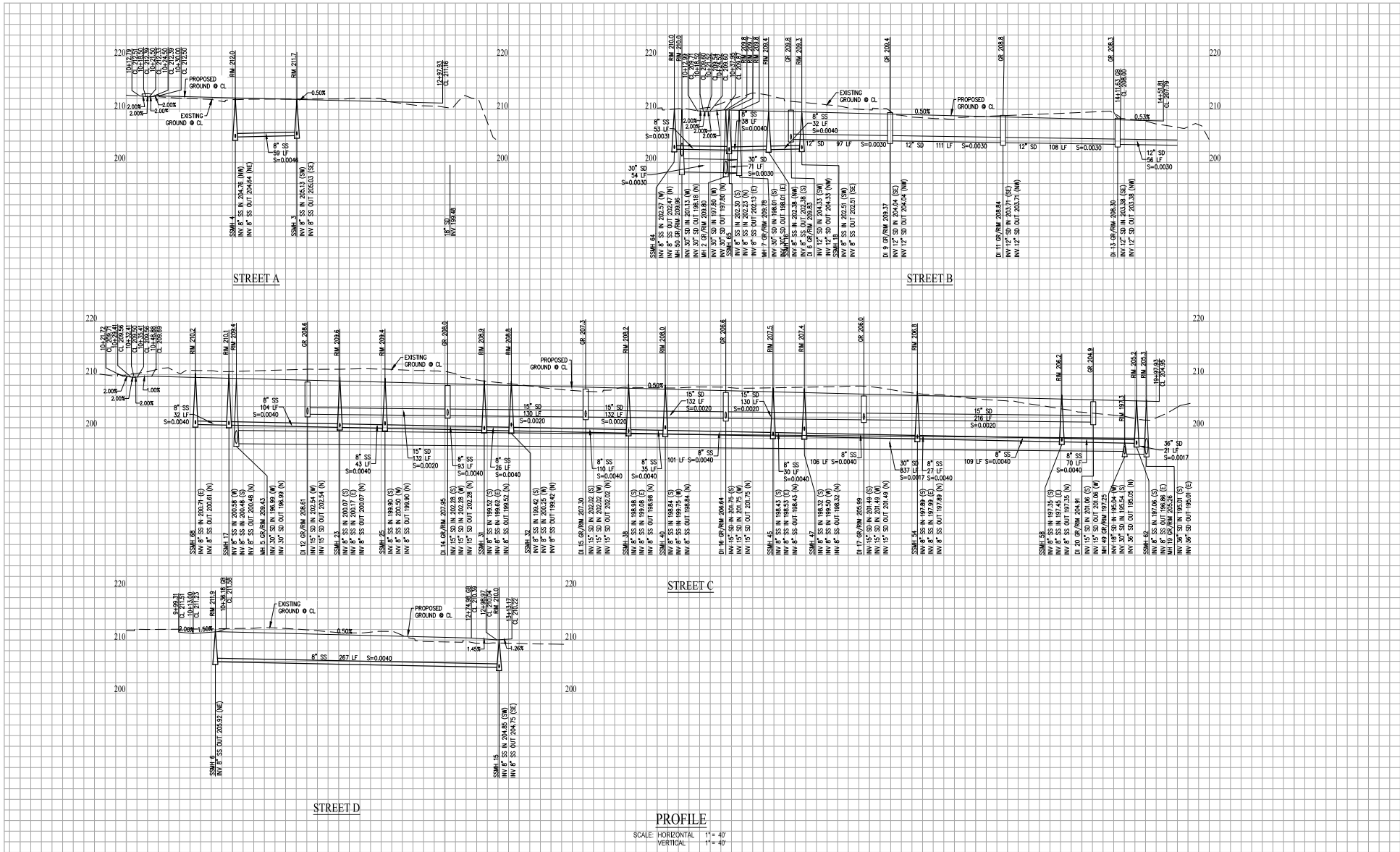
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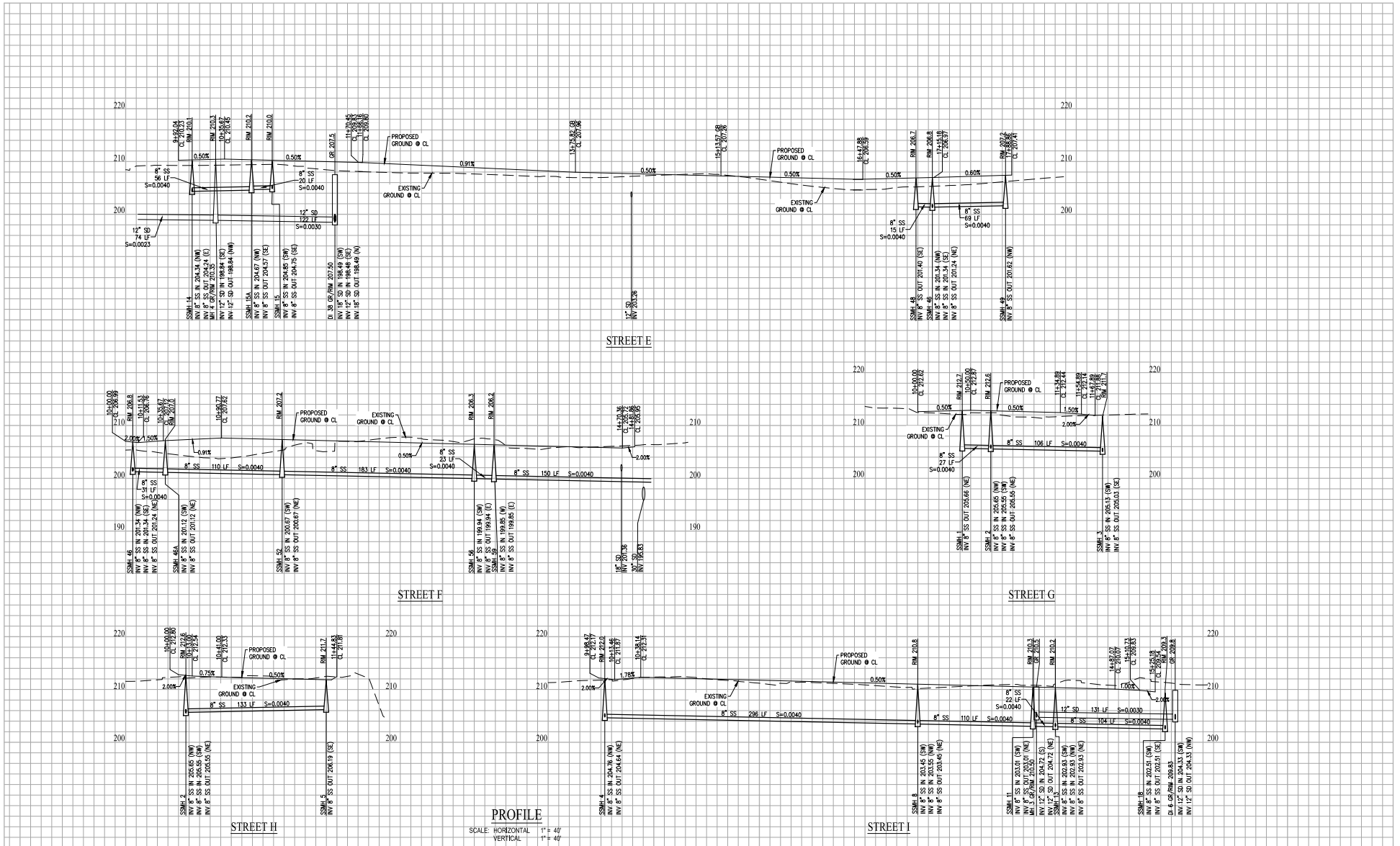
PRELIMINARY GRADING & DRAINAGE PLAN

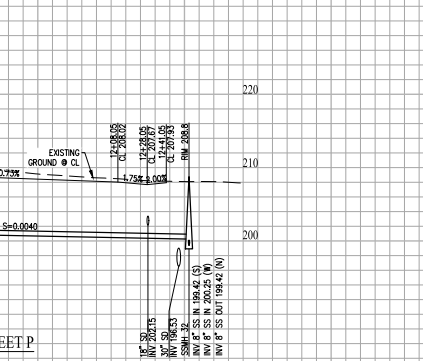
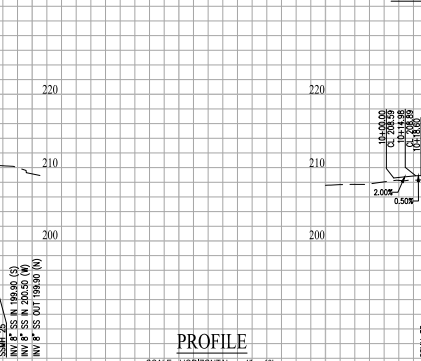
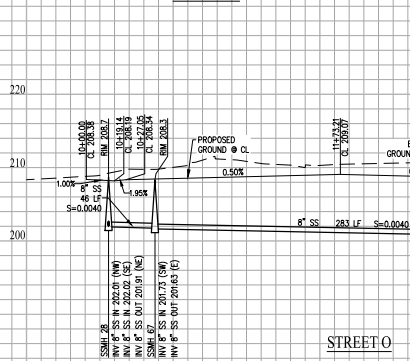
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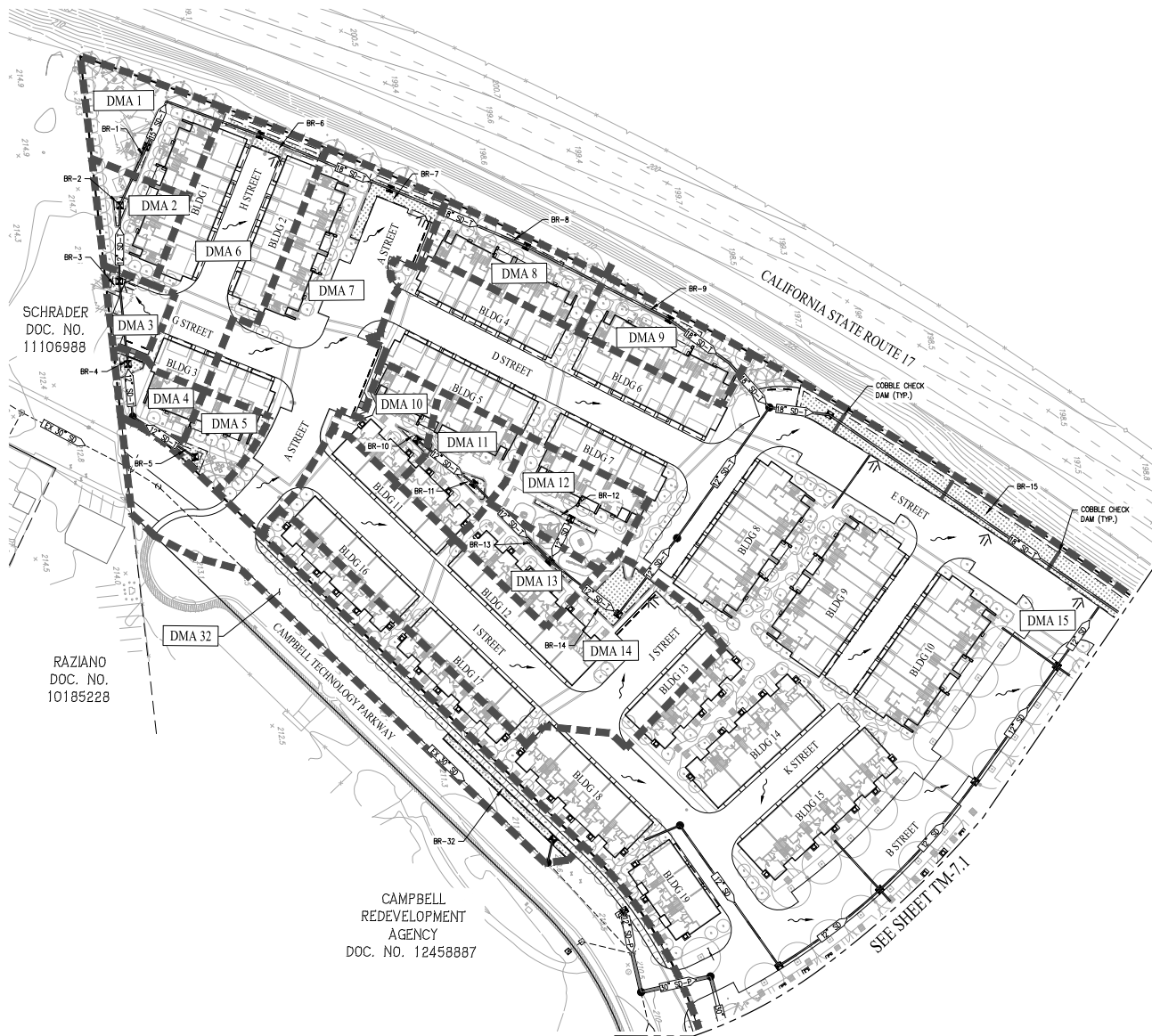








SCALE: HORIZONTAL 1" = 40'
VERTICAL 1" = 4'



LEGEND

	EXISTING STORM DRAIN
	STORM DRAIN PIPE (UNTREATED)
	STORM DRAIN PIPE (TREATED)
	STORM DRAIN PIPE (PUBLIC)
	DMA BOUNDARY
	BIORETENTION AREA
	DRAINAGE MANAGEMENT AREA LABEL
	COBBLE CHECK DAM
	RUNOFF DIRECTION
	CURB CUT/SLOT DRAIN
	STORM DRAIN MANHOLE
	STORM DRAIN FIELD INLET
	AREA DRAIN

ABBREVIATIONS

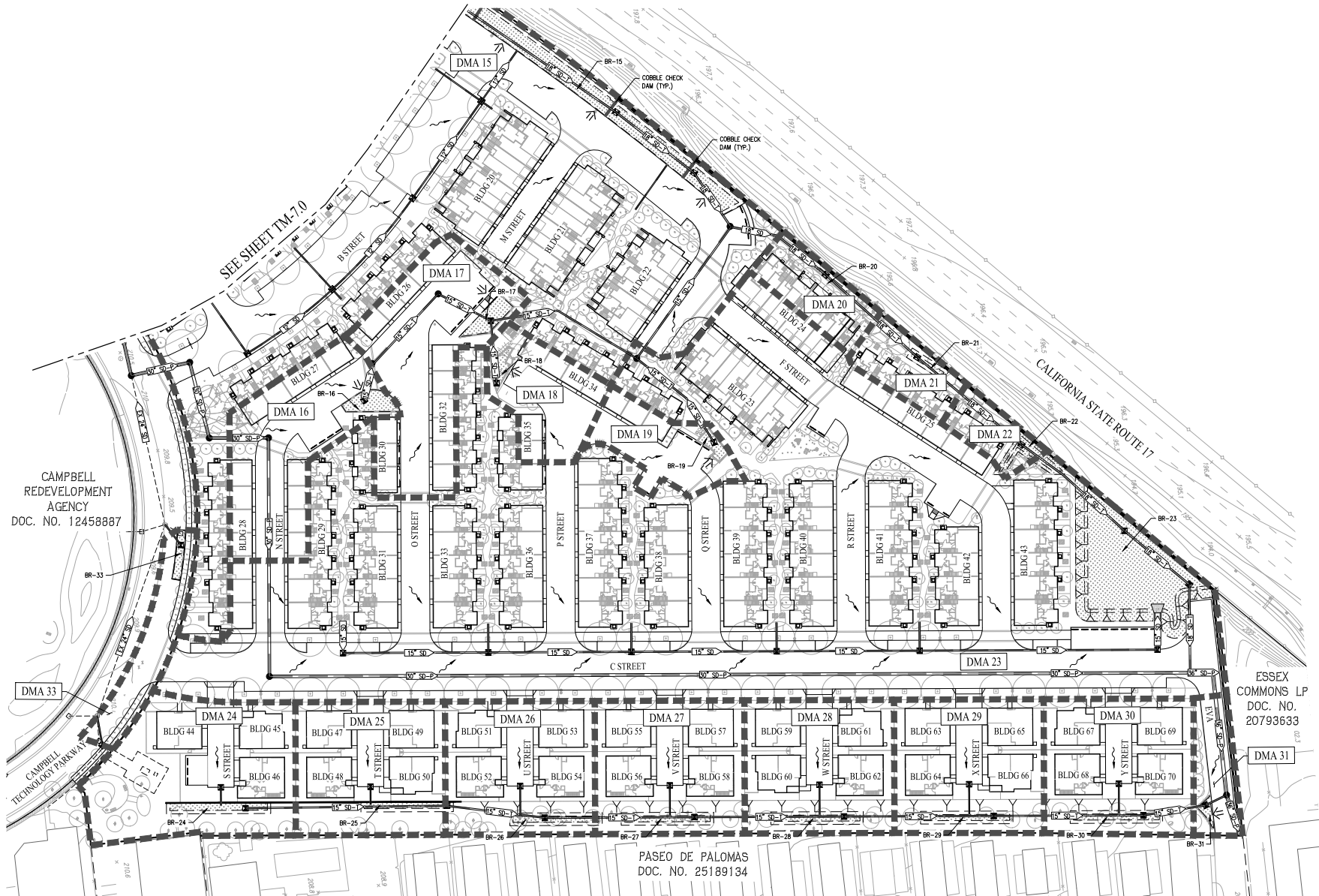
BR	BIORETENTION
DMA	DRAINAGE MANAGEMENT AREA
EX	EXISTING
FC	FACE OF CURB
LAT	LATERAL
PR	PROPOSED
SD	STORM DRAIN
TC	TOP OF CURB

NOTE

1. STORM DRAIN LAYOUT AND DMA TREATMENT AREAS ARE SUBJECT TO CHANGE WITH FINAL SITE GRADING AND DRAINAGE PLAN. EXACT DOWNSPOUT LOCATIONS ARE UNKNOWN.
2. BIO-RETENTION AREAS HAVE BEEN DESIGNED PER THE SANTA CLARA COUNTY C.S. GUIDANCE MANUAL.
3. BIO-RETENTION AREAS HAVE BEEN SIZED USING THE 4% METHOD AND COMBINATION FLOW & VOLUME SIZING PER CHAPTER 5 OF THE SANTA CLARA COUNTY C.S. GUIDANCE MANUAL.
4. SITE DESIGN MEASURES INCLUDES MARKING CLUSTERING STRUCTURES & PAVEMENT SOURCE CONTROL MEASURES SHALL INCLUDE MARKING ALL INLETS WITH LABELS NOTING ALL DRAINING FLOWS TO THE BAY.
5. THIS PROJECT HAS SUBMITTED AN SB 330 APPLICATION PRIOR TO JUNE 30, 2023. THEREFORE, THE PROJECT IS SUBJECT TO MPP 2.0 REQUIREMENTS PROVIDED THE PROJECT REMAINS IN COMPLIANCE WITH THE REQUIREMENTS OF SB 330.



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CAMPBELL
REDEVELOPMENT
AGENCY
DOC. NO. 12458887

ESSEX
COMMONS LP
DOC. NO.
20793633

PASEO DE PALOMAS
DOC. NO. 25189134



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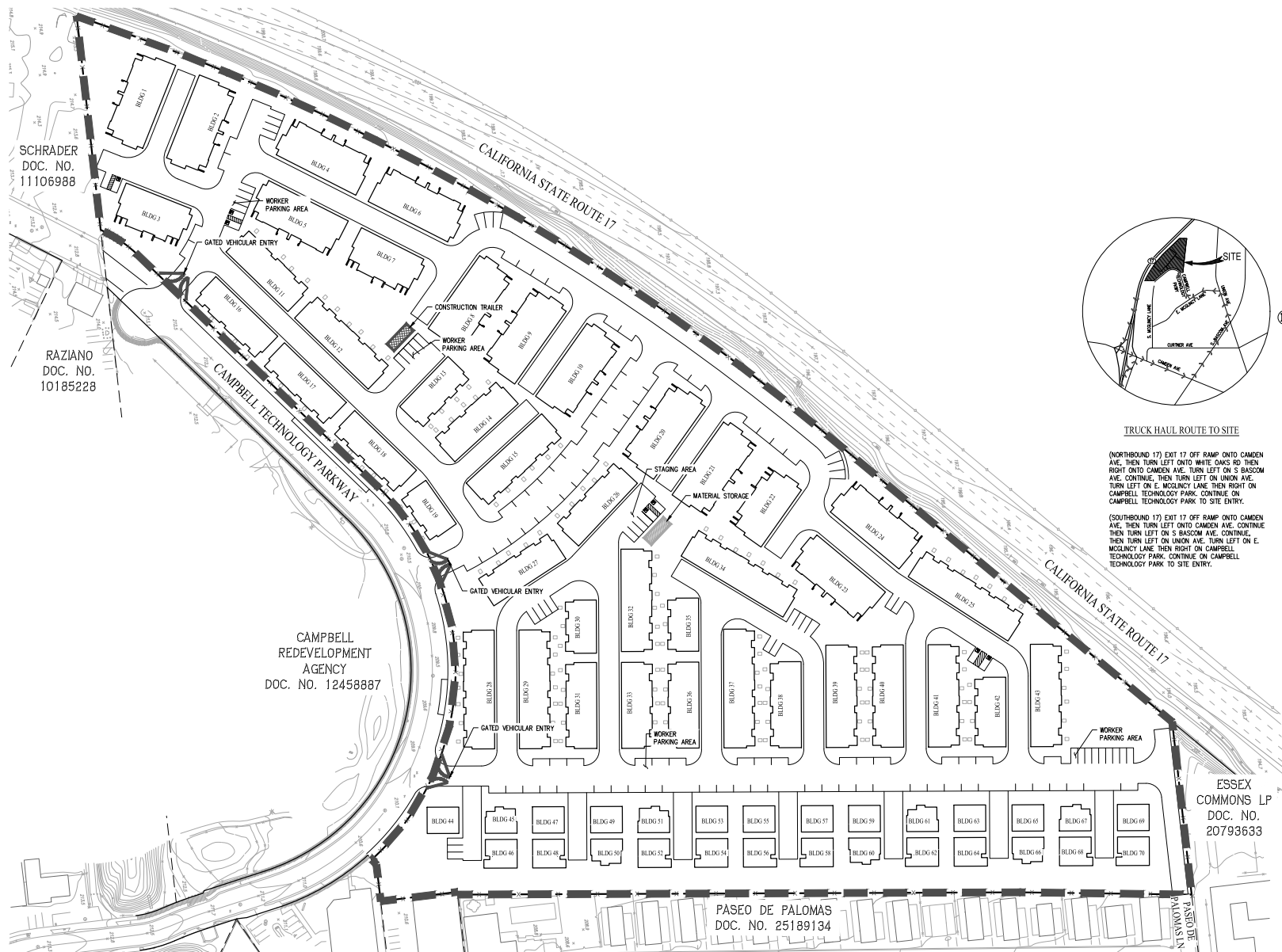
DESIGN REVIEW
JANUARY 15, 2023



PRELIMINARY STORMWATER
MANAGEMENT PLAN

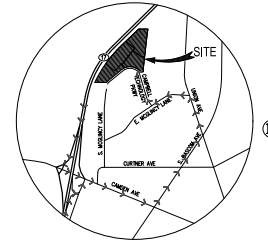
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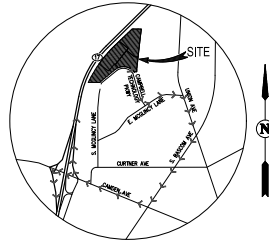
- PROPERTY LINE
- RIGHT OF WAY
- CONSTRUCTION FENCE
- CONSTRUCTION TRAILER
- MATERIAL STORAGE



TRUCK HAUL ROUTE TO SITE

(NORTHBOUND 17) EXIT 17 OFF RAMP ONTO CAMDEN AVE. THEN TURN LEFT ONTO WHITE OAKS RD THEN RIGHT ONTO CAMDEN AVE. TURN LEFT ON S BASCOM AVE. CONTINUE, THEN TURN LEFT ON UNION AVE. TURN LEFT ON E. MCJUNCY LANE THEN RIGHT ON CAMPBELL TECHNOLOGY PARK. CONTINUE ON CAMPBELL TECHNOLOGY PARK TO SITE ENTRY.

(SOUTHBOUND 17) EXIT 17 OFF RAMP ONTO CAMDEN AVE. THEN TURN LEFT ONTO CAMDEN AVE. CONTINUE, THEN TURN LEFT ON S BASCOM AVE. CONTINUE, THEN TURN LEFT ON UNION AVE. TURN LEFT ON E. MCJUNCY LANE THEN RIGHT ON CAMPBELL TECHNOLOGY PARK. CONTINUE ON CAMPBELL TECHNOLOGY PARK TO SITE ENTRY.



TRUCK HAUL ROUTE FROM SITE

(NORTHBOUND 17) EXIT SITE ONTO CAMPBELL TECHNOLOGY PARK THEN LEFT ON E. MCJUNCY LANE. TURN RIGHT ON UNION AVE THEN TURN RIGHT ON S BASCOM AVE. CONTINUE THEN TURN LEFT ON CAMDEN AVE. CONTINUE ON CAMDEN AVE THEN TAKE FREEWAY RAMP NORTH 17.

(SOUTHBOUND 17) EXIT SITE ONTO CAMPBELL TECHNOLOGY PARK THEN LEFT ON E. MCJUNCY LANE. TURN RIGHT ON UNION AVE THEN TURN RIGHT ON S BASCOM AVE. CONTINUE THEN TURN LEFT ON CAMDEN AVE. CONTINUE ON CAMDEN AVE THEN TAKE FREEWAY RAMP SOUTH 17.

NOTE

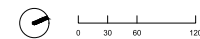
- CONSTRUCTION EQUIPMENT TO BE USED IS NOT LIMITED TO BIG RIG TRUCKS, HEAVY EQUIPMENT, AND TRACTORS AS REQUIRED FOR CONSTRUCTION OF THE DEVELOPMENT.



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Campbell, CA # 2023-0039

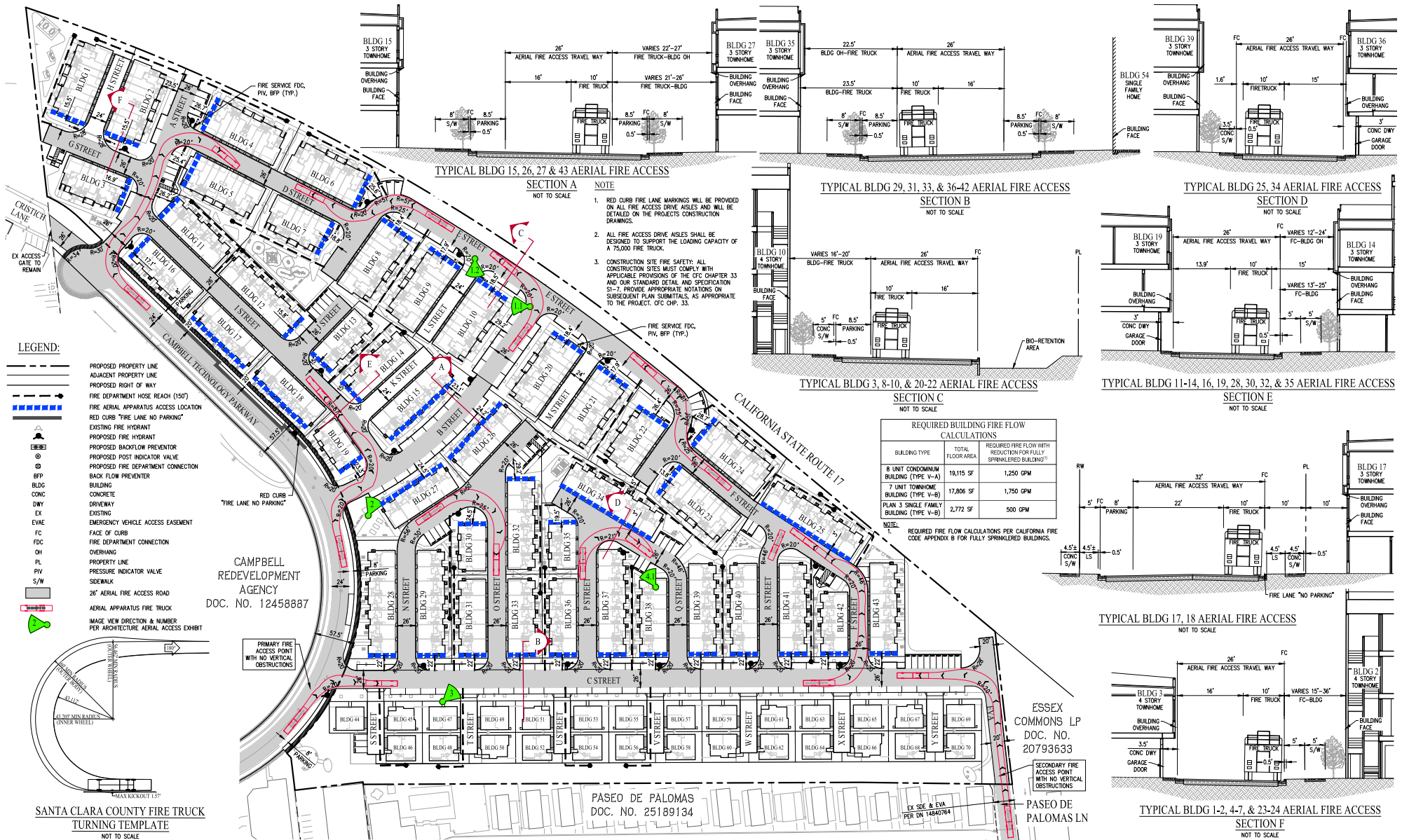
DESIGN REVIEW
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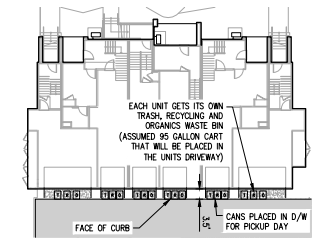
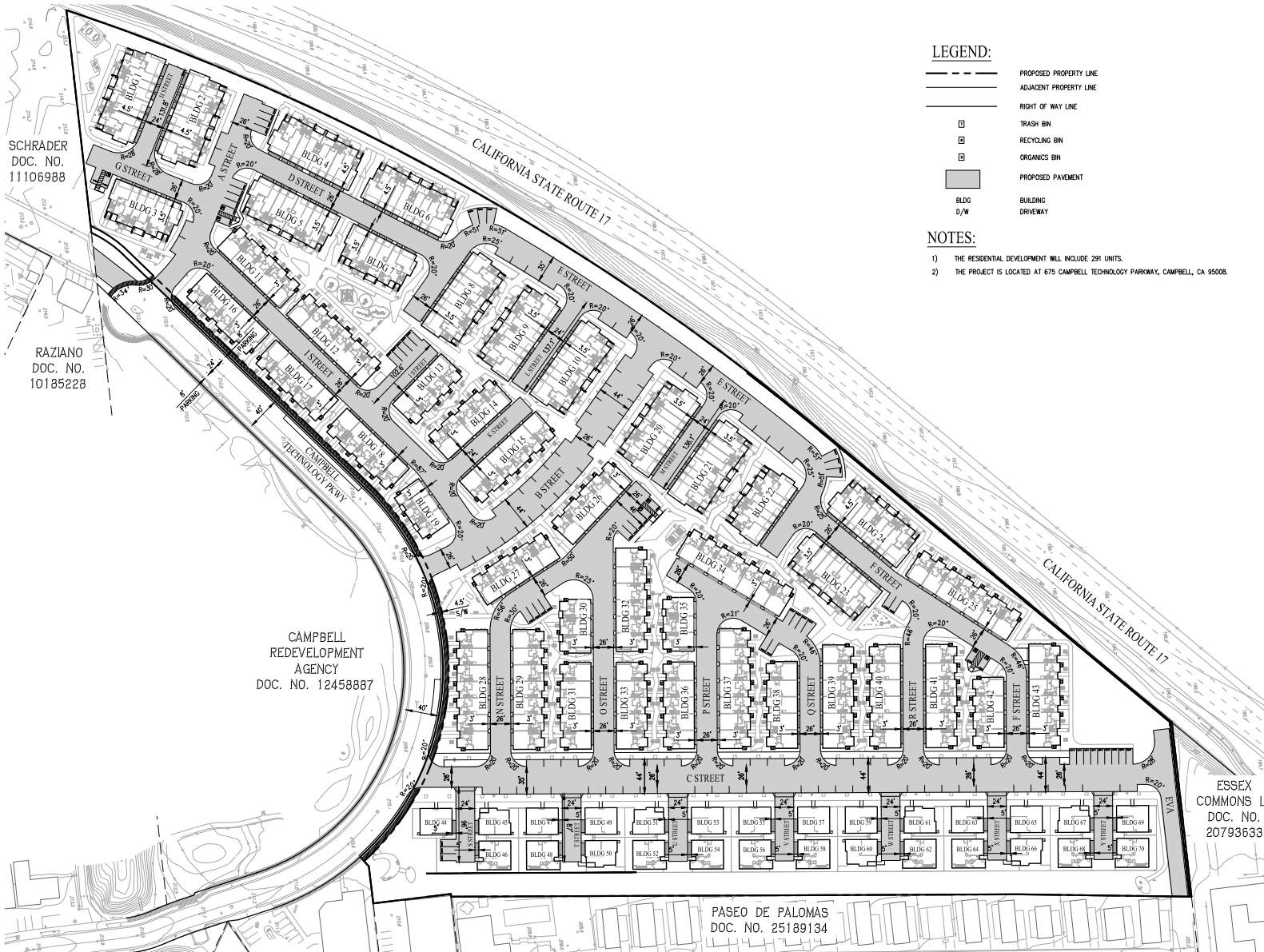


**PRELIMINARY CONSTRUCTION
STAGING PLAN**

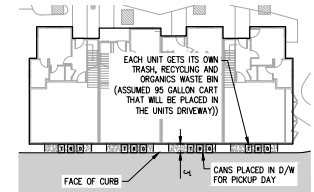
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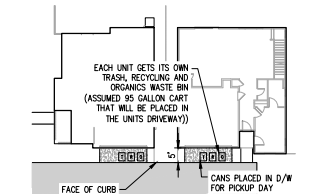




TYPICAL SERVICE DETAIL
(BLDG 1-10, 20-24)
NOT TO SCALE



TYPICAL SERVICE DETAIL
(BLDG 11-19, 25-43)
NOT TO SCALE



TYPICAL SERVICE DETAIL
(BLDG 44-70)
NOT TO SCALE



LEGEND:

-  PROPOSED PROPERTY LINE
-  USABLE OPEN SPACE
-  COMMON PRIVATE YARD

OPEN SPACE SUMMARY TABLE

OPEN SPACE	AREA SF
USABLE OPEN SPACE	125,843
COMMON PRIVATE SPACE	17,425
TOWNHOUSE BALCONIES PRIVATE OPEN SPACE	18,000





6' H Good Neighbor Fence



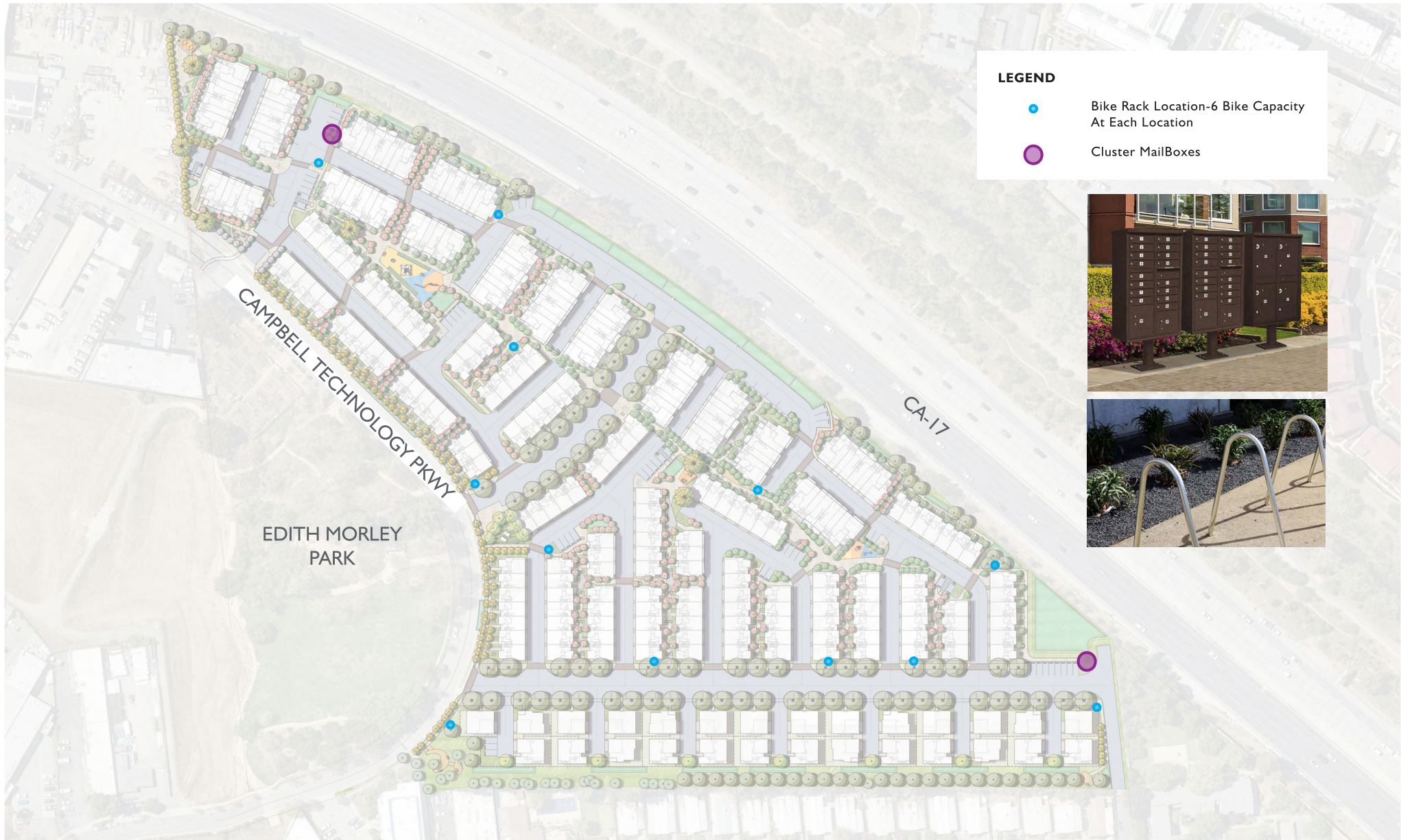
6' H CMU Wall

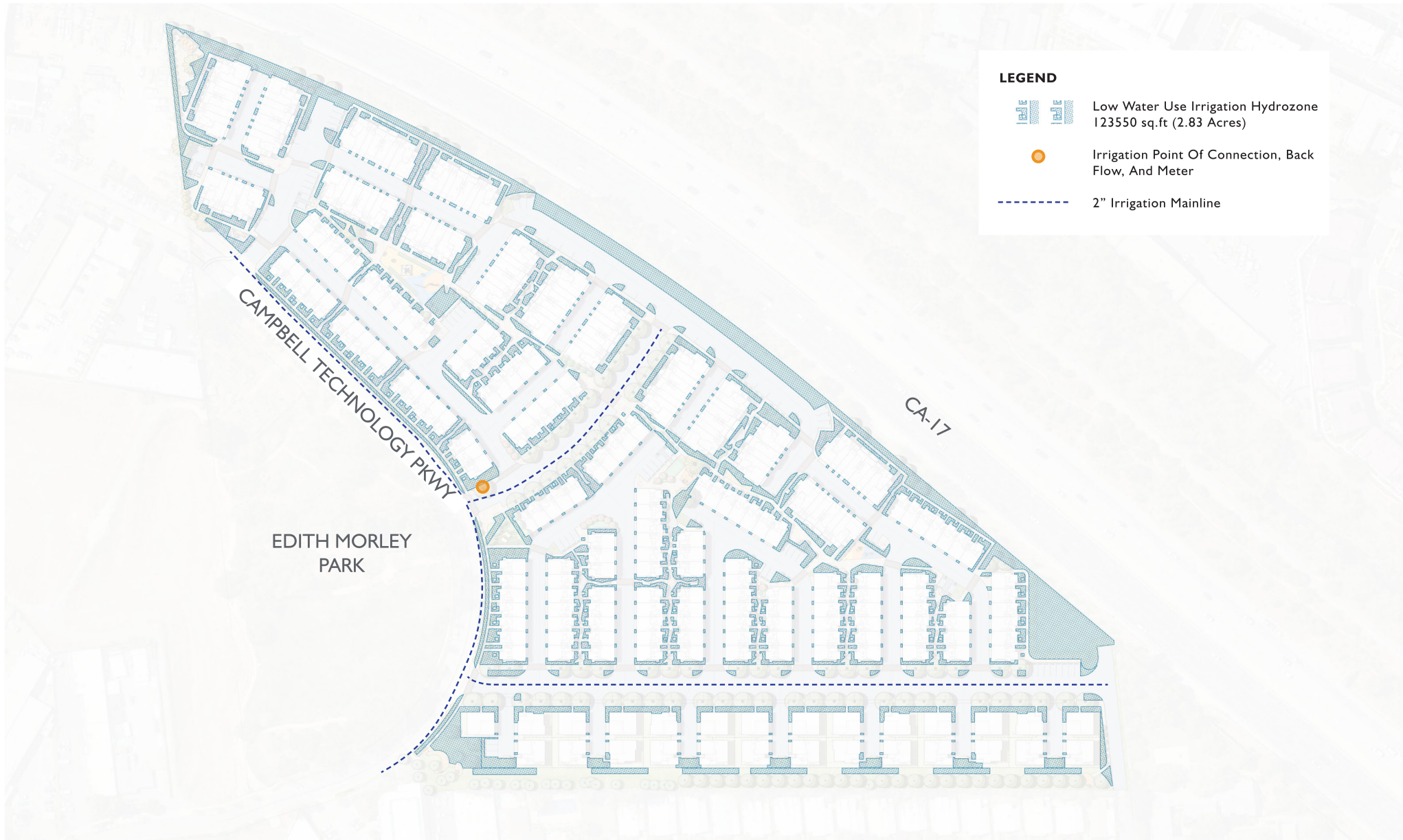


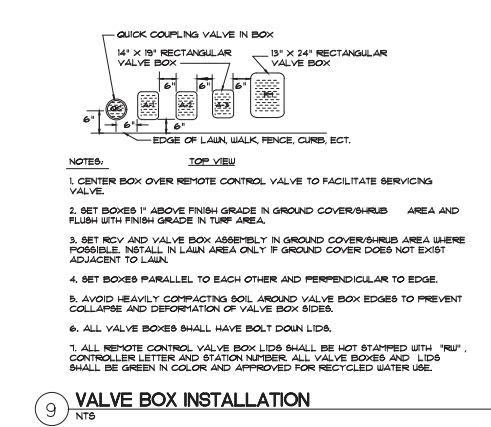
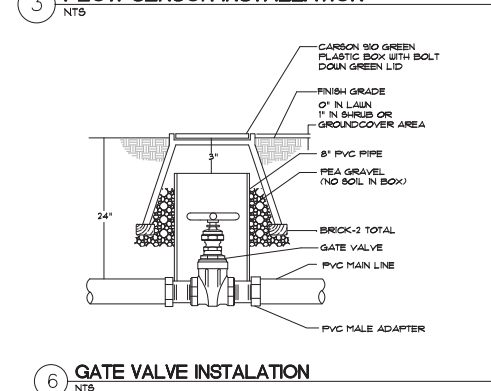
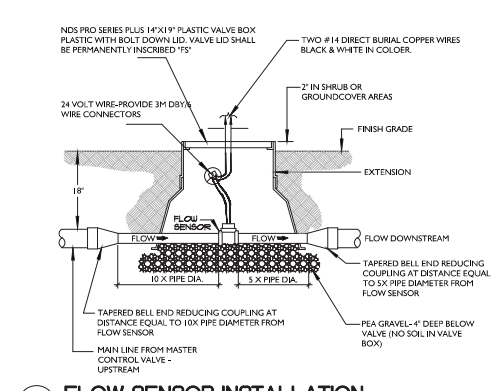
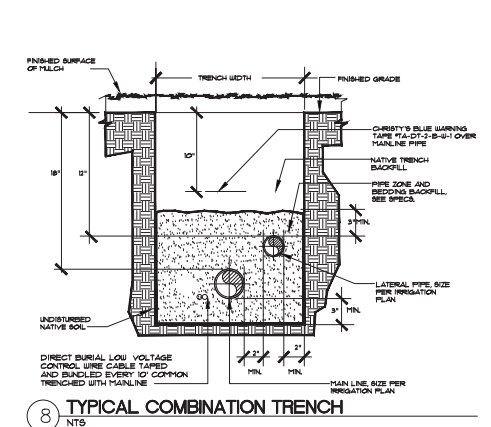
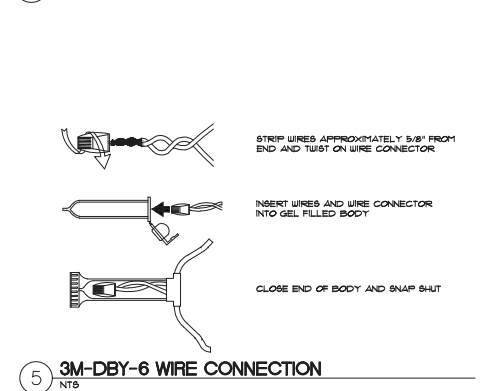
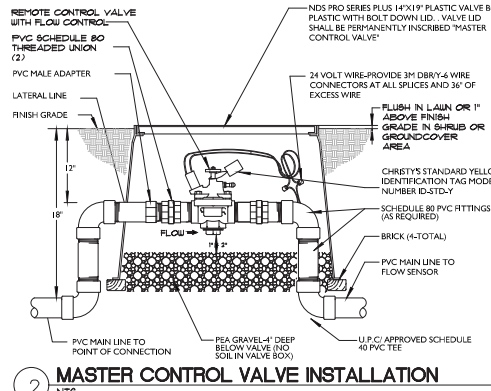
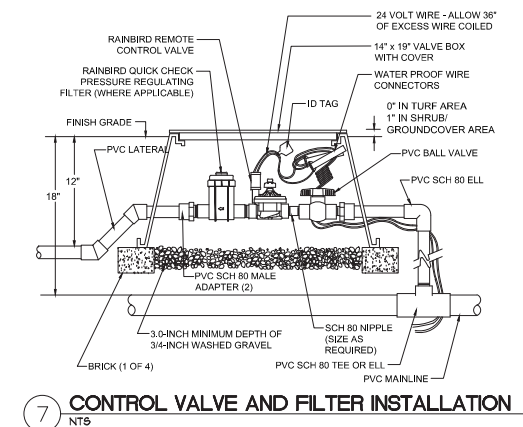
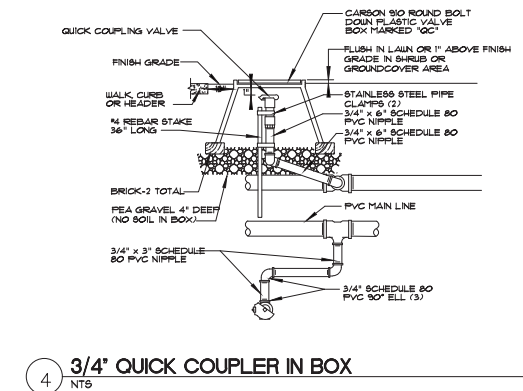
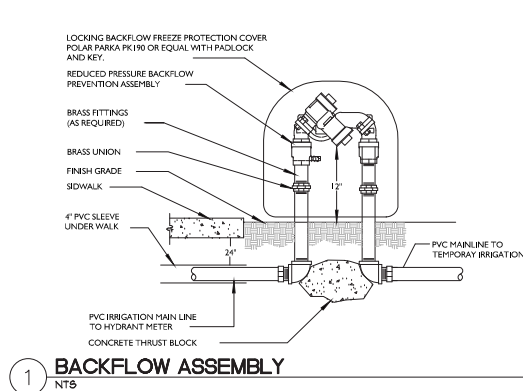
6' H Pre-cast Wall
8' H Pre-cast Wall











WATER TYPE	POTABLE
SITE ETO=	45.4

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	TREES - M	MOD	0.5	BUBBLER	0.81	0.62	2,120	1,309	36,836	0.11	49.25	2%
2	TREES - L	LOW	0.3	BUBBLER	0.81	0.37	4,000	1,481	41,701	0.13	55.75	3%
3	TREES - VL	LOW	0.1	BUBBLER	0.81	0.12	1,590	196	5,525	0.02	7.39	1%
4	MIXED SHRUB/GROUNDCOVER	LOW	0.3	DRIP	0.81	0.37	108,230	40,085	1,128,318	3.46	1,508.45	93%
TOTALS							115,940	43,072	1,212,380	3.72	1,620.83	100%

SPECIAL LANDSCAPE AREAS										
HYDROZONE #	HYDROZONE NAME									
3			1							0%
			TOTALS		0					0%

MAWA	GALLONS/YR	1,794,914
	ACRE FEET/YR	5.51
	HCF/YR	2,399.62

ETWU	GALLONS/YR	1,212,380
	ACRE FEET/YR	3.72
	HCF/YR	1,620.83

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.30	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	43,072
TOTAL AREA	115,940
AVG. ETAF	37.15%

MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
MAWA = (ET _o)(0.62)[(LA x 0.55) + (0.45 x SLA)]

ET_o = REFERENCE EVAPOTRANSPIRATION
0.55= ET ADJUSTMENT FACTOR
LA=LANDSCAPED AREA (SQUARE FEET)
0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
ETWU= ((ET _o)(.62)(ETAF x LA))

ET_o = REFERENCE EVAPOTRANSPIRATION
PF = PLANT FACTOR FOR HYDROZONES
HA = HYDROZONE AREA (SQ.FT)
0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY



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Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024

WATER CALCULATIONS

L2.3



LEGEND

- ✕ Existing Tree to Remove
- Existing Tree to Remain

Tag #	Species	DIA	Protected	Condition	Suitability	Tag #	Species	DIA	Protected	Condition	Suitability	Tag #	Species	DIA	Protected	Condition	Suitability	Tag #	Species	DIA	Protected	Condition	Suitability	Tag #	Species	DIA	Protected	Condition	Suitability
1	African sumac	13	Yes	3	Moderate	81	African sumac	14	Yes	4	Moderate	160	African sumac	10	No	2	Low	239	Paper bark	22	Yes	3	Moderate	318	African sumac	13	Yes	3	Moderate
2	African sumac	13	Yes	3	Moderate	82	Holly oak	7	No	4	High	161	Sweetgum	6	No	3	Moderate	240	Paper bark	17	Yes	3	Moderate	319	African sumac	15	Yes	3	Moderate
3	Coast live oak	7	No	4	Moderate	82	African sumac	12	Yes	3	Moderate	162	Sweetgum	6,4	No	3	Moderate	241	Paper bark	18	Yes	4	Moderate	320	African sumac	18	Yes	4	Moderate
4	Water gum	12	Yes	4	Moderate	83	Holly oak	8	No	4	High	163	African sumac	15	Yes	3	Moderate	242	Paper bark	14	Yes	4	Moderate	321	Coast redwood	17	Yes	3	Low
5	Coast live oak	8	No	4	Moderate	85	Coast redwood	13	Yes	4	Moderate	164	Sweetgum	6	No	3	Moderate	243	African sumac	19	Yes	4	Moderate	322	Coast redwood	16	Yes	3	Low
6	Water gum	10	No	5	High	86	Coast redwood	11	No	4	Moderate	165	African sumac	15	Yes	3	Moderate	244	African sumac	19	Yes	4	Moderate	323	Coast redwood	13	Yes	3	Low
7	Monteary pine	35	Yes	3	Low	87	Coast redwood	13	Yes	4	Moderate	166	Sweetgum	8	No	3	Moderate	245	Paper bark	19	Yes	4	Moderate	324	Coast redwood	15	Yes	3	Low
8	Monteary pine	23	Yes	3	Low	88	Coast redwood	12	Yes	4	Moderate	167	Sweetgum	7	No	3	Moderate	246	Paper bark	15	Yes	3	Moderate	325	African sumac	12	Yes	4	Moderate
9	Coast live oak	6	No	3	Moderate	89	Coast redwood	13	Yes	3	Moderate	168	Water gum	7	No	5	High	247	Paper bark	23	Yes	3	Moderate	326	African sumac	11	No	4	Moderate
10	Silver dollar gum	22	Yes	3	Moderate	90	Coast redwood	14	Yes	3	Moderate	169	Sweetgum	8	No	3	Moderate	248	Paper bark	18	Yes	3	Moderate	327	African sumac	16	Yes	4	Moderate
11	Silver dollar gum	27	Yes	3	Moderate	91	Coast redwood	7	No	3	Moderate	170	Sweetgum	6	No	3	Moderate	249	Paper bark	13	Yes	3	Low	328	Brisbane box	16	Yes	5	High
12	Silver dollar gum	14,8	Yes	3	Moderate	92	Coast redwood	17	Yes	4	Moderate	171	Water gum	10	No	5	High	250	Paper bark	23	Yes	4	Moderate	329	Brisbane box	18	Yes	5	High
13	Coast live oak	20	Yes	3	Low	93	African sumac	14	Yes	3	Moderate	172	Water gum	8	No	4	High	251	African sumac	13	Yes	3	Moderate	330	Brisbane box	15	Yes	4	Moderate
14	Silver dollar gum	15	Yes	3	Low	94	African sumac	13	Yes	2	Low	173	Sweetgum	8	No	3	Moderate	252	African sumac	12	Yes	3	Moderate	331	Brisbane box	18	Yes	5	High
15	Sweetgum	6	No	3	Moderate	95	Coast redwood	18	Yes	4	Moderate	174	Sweetgum	6	No	3	Moderate	253	Paper bark	14	Yes	3	Moderate	332	Brisbane box	16	Yes	4	High
16	Sweetgum	8	No	3	Low	96	Coast redwood	12	Yes	4	Moderate	175	Sweetgum	8	No	3	Moderate	254	Paper bark	17	Yes	3	Moderate	333	Brisbane box	15	Yes	4	High
17	Silver dollar gum	25	Yes	3	Low	97	Coast redwood	13	Yes	4	Moderate	176	Callery pear	6	No	2	Low	255	Paper bark	16	Yes	3	Moderate	334	Brisbane box	18	Yes	5	High
18	Coast live oak	22	Yes	3	Low	98	African sumac	14	Yes	4	Moderate	177	Chinese elm	9	No	3	Moderate	256	Paper bark	16	Yes	3	Moderate	335	Brisbane box	7	No	3	Moderate
19	Sweetgum	9	No	4	Moderate	99	African sumac	14	Yes	4	Moderate	178	Chinese elm	10	No	4	Moderate	257	Paper bark	22	Yes	3	Moderate	336	Brisbane box	7	No	3	Moderate
20	Monteary pine	24	Yes	3	Low	100	African sumac	11	No	3	Moderate	179	African sumac	7	No	2	Low	258	Little leaf azara	6,4,2	No	4	High	337	Brisbane box	9	No	4	Moderate
21	Silver dollar gum	22	Yes	3	Low	101	African sumac	14	Yes	3	Moderate	180	African sumac	14	Yes	4	Moderate	259	Strawberry tree	10,8,7	No	4	Moderate	338	Callery pear	7	No	4	Moderate
22	Sweetgum	10	No	4	Moderate	102	Hackberry	10	No	4	Moderate	181	Tulip poplar	11	No	4	Moderate	260	Coast redwood	17	Yes	4	Moderate	339	Callery pear	8	No	4	Moderate
23	Coast live oak	23	Yes	3	Moderate	103	Hackberry	9	No	4	Moderate	182	Tulip poplar	11	No	3	Moderate	261	Coast redwood	13	Yes	4	Moderate	340	Callery pear	7	No	3	Moderate
24	Silver dollar gum	16	Yes	3	Low	104	Coast redwood	22	Yes	4	Moderate	183	Tulip poplar	10	No	3	Moderate	262	Coast redwood	20	Yes	4	Moderate	341	Callery pear	10	No	4	Moderate
25	Callery pear	9	No	3	Low	105	Coast redwood	21	Yes	4	Moderate	184	Tulip poplar	7	No	3	Moderate	263	Australian willow	6	No	3	Low	342	Callery pear	8	No	3	Moderate
26	Silver dollar gum	32	Yes	3	Moderate	106	Fremont cottonwood	11	No	3	Moderate	185	Chinese elm	14	Yes	4	High	264	Strawberry tree	12	Yes	3	Moderate	343	African sumac	13	Yes	4	Moderate
27	Silver pear	13	Yes	3	Low	107	Coast live oak	5	No	4	Moderate	186	Chinese elm	12	Yes	3	Moderate	265	Strawberry tree	7,5,5	No	3	Moderate	344	Chinese elm	8	No	5	High
28	Silver dollar gum	15,14	Yes	3	Moderate	108	Tree of heaven	8,7,6,6,5,5	No	2	Moderate	187	African sumac	10	No	3	Moderate	266	Coast redwood	21	Yes	4	Moderate	1642	Little leaf inden	12	Yes	5	Moderate
29	Coast live oak	17	Yes	3	Low	109	Coast redwood	15	Yes	4	Moderate	188	African sumac	10	No	3	Moderate	267	Coast redwood	17	Yes	4	Moderate	1643	Little leaf inden	9	No	4	Moderate
30	Silver dollar gum	14	Yes	3	Moderate	110	Coast redwood	13	Yes	3	Moderate	189	Callery pear	6	No	3	Low	268	Strawberry tree	9	No	3	Low	1644	Little leaf inden	10	No	4	Moderate
31	Coast live oak	14	Yes	3	Low	111	Coast redwood	15	Yes	4	Moderate	190	Callery pear	7	No	3	Low	269	Strawberry tree	9	No	2	Low	1645	Little leaf inden	6	No	3	Low
32	Silver dollar gum	21	Yes	3	Low	112	Coast redwood	17	Yes	4	Moderate	191	African sumac	15	Yes	4	Moderate	270	Strawberry tree	8	No	4	Moderate	1646	Little leaf inden	8	No	4	Moderate
33	Silver dollar gum	24	Yes	3	Moderate	113	Coast redwood	13	Yes	3	Moderate	192	Callery pear	12	No	3	Moderate	271	Coast redwood	14	Yes	4	Moderate	1647	Little leaf inden	8	No	3	Low
34	African sumac	15	Yes	4	Moderate	114	Coast redwood	17	Yes	4	Moderate	193	Chinese elm	11	No	4	High	272	Coast redwood	20	Yes	4	Moderate	1648	Little leaf inden	7	No	3	Moderate
35	Coast redwood	26	Yes	4	Moderate	115	African sumac	12	Yes	4	Moderate	194	Chinese elm	7	No	3	Moderate	273	Coast redwood	17	Yes	4	Moderate	1649	Little leaf inden	10	No	3	Moderate
36	Australian willow	18	Yes	3	Moderate	116	African sumac	12	Yes	4	Moderate	195	Chinese elm	11	No	3	Moderate	274	Coast redwood	9	No	3	Moderate	1651	Little leaf inden	10	No	3	Moderate
37	Coast redwood	6	No	4	Moderate	117	African sumac	12	Yes	4	Moderate	196	Chinese elm	10	No	3	Moderate	275	Australian willow	9,8	No	3	Moderate	1652	Little leaf inden	12	Yes	3	Moderate
38	Coast redwood	9	No	4	Moderate	118	African sumac	11	No	4	Moderate	197	Chinese elm	14	Yes	3	Moderate	276	Australian willow	7	No	3	Low						
39	Coast redwood	8	No	4	Moderate	119	African sumac	12	Yes	4	Moderate	198	Chinese elm	12	Yes	3	Moderate	277	Australian willow	6	No	3	Low						
40	Sweetgum	8	No	4	Moderate	120	African sumac	12	Yes	4	Moderate	199	Chinese elm	12	Yes	3	Moderate	278	Strawberry tree	7	No	4	Moderate						
41	Coast redwood	34,31	Yes	4	Moderate	121	African fern pine	8	No	4	Moderate	200	Chinese elm	8	No	3	Moderate	279	Coast redwood	10	No	3	Moderate						
42	Coast redwood	26	No	4	Moderate	122	African fern pine	7	No	4	Moderate	201	African sumac	13	Yes	3	Moderate	280	Coast redwood	12	Yes	3	Moderate						
43	Australian willow	14,6	Yes	3	Low	123	African fern pine	6	No	3	Low	202	African sumac	9	No	3	Moderate	281	Strawberry tree	7	No	4	Moderate						
44	Sweetgum	7	No	3	Moderate	124	African fern pine	7	No	3	Moderate	203	Chinese elm	7	No	3	Moderate	282	African sumac	15	Yes	4	Moderate						
44	Coast redwood	27,25	Yes	3	Moderate	125	African fern pine	6	No	3	Low	204	Chinese elm	6	No	3	Low	283	Coast redwood	14	Yes	2	Low						
45	Sweetgum	8	No	3	Moderate	126	African fern pine	6	No	3	Low	205	Chinese elm	11	No	4	High	284	Coast redwood	13	Yes	3	Moderate						
46	Sweetgum	7	No	3	Moderate	127	African sumac	16	Yes	3	Moderate	206	African sumac	15	Yes	3	Moderate	285	Coast redwood	11	No	2	Low						
48	Coast redwood	25,24,21	Yes	3	Moderate	128	Monteary pine	28	Yes	3	Low	207	African sumac	15	Yes	3	Moderate	286	Deodar cedar	11	No	5	High						
49	Australian willow	18	Yes	3	Low	129	Chinese elm	8	No	5	High	208	African sumac	12	Yes	4	Moderate	287	Deodar cedar	12	Yes	5	High						
50	Coast redwood	13	Yes	3	Low	130	Coast redwood	11	No	3	Moderate	209	African sumac	10	No	3	Moderate	288	Deodar cedar	9	No	5	High						
51	Australian willow	21	Yes	3	Low	131	Coast redwood	8	No	3	Moderate	210	African sumac	13	Yes	3	Moderate	289	African sumac	9	No	4	Moderate						
52	Coast redwood	15	Yes	4	Moderate	132	Coast redwood	12	Yes	3	Moderate	211	African sumac	10	No	3	Moderate	290	African sumac	10	No	4	Moderate						
53	Coast redwood	19	Yes	4	Moderate	133	African sumac	13	Yes	4	Moderate	212	African sumac	13	Yes	3	Moderate	291	African sumac	10	No	4	Moderate						
54	Coast redwood	24	Yes	4	Moderate	134	Red oak	10	No	3	Moderate	213	African sumac	14	Yes	3	Moderate	292	Coast redwood	8	No	2	Low						
55	Coast redwood	24	Yes	4	Moderate	135	Red oak	10	No	4	Moderate	214	African sumac	14	Yes	3	Moderate	293	Deodar cedar	18	Yes	4	High						
56	Sweetgum	6	No	3	Moderate	136	Red oak	12	Yes	4	Moderate	215	African sumac	15	Yes	3	Moderate	294	Coast redwood	12	Yes	4	Moderate						
57	Coast redwood	26,24	Yes	4	Moderate	137	Red oak	9	No	3	Low	216	African sumac	15	Yes	3	Moderate	295	Coast redwood	12	Yes	3	Moderate						
58	Coast redwood	24	Yes	3	Moderate	138	Callery pear	6	No	3	Low	217	Paper bark	18	Yes	4	Moderate	296	Coast redwood	13	Yes	3	Moderate						
59	Coast redwood	24	Yes	4	Moderate	139	Red oak	9	No	3	Moderate	218	Paper bark	14	Yes	4	Moderate	297	Deodar cedar	12	Yes	4	High						
60	Coast redwood	24	Yes	4	Moderate	140	Red oak	10	No	4	High	219	Paper bark	21	Yes	4	Moderate	298	Deodar cedar	16	Yes	4	High						
61	Australian willow	16	Yes	2</																									



TREE LEGEND



Acer rubrum 'Armstrong'
Armstrong Maple



Cercis canadensis
Eastern Redbud



Koelreuteria paniculata
Golden Rain Tree



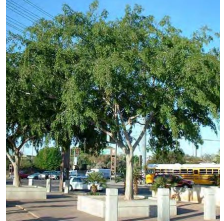
Lagerstroemia indica x fauriei
'Muskogee'
Muskogee Crape Myrtle



Prunus serrulata 'Kwanzan'
Kwanzan Cherry



Quercus virginiana
Coastal Live Oak



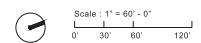
Ulmus parvifolia
Chinese Elm



**Campbell
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Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024



OVERALL TREE PLAN

L3.3

SHRUBS AND GROUND COVERS



Abutilon palmeri
Palmer's Indian Mallow



Achillea millefolium
Common Yarrow



Agave attenuata
Foxtail Agave



Alyogyne huegelii
Blue Hibiscus



Arbutus unedo
Strawberry



Arctostaphylos Dr Hurd
Dr Hurd Manzanita



Baccharis pilularis 'Pigeon Point'
Pigeon Point Coyote Brush



Bouteloua
Grama Grass



Callistemon viminalis 'Little John'
Bottle Bush



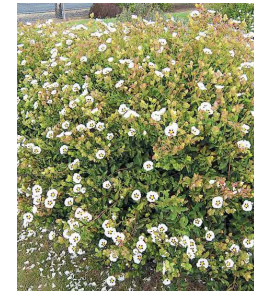
Carex divulsa
Grassland Sedge



Carex tumulicola
Berkeley Sedge



Chondropetalum tectorum
Cape Rush



Cistus
Rock Rose



Coprosma kirkii 'Variegata'
Mirrorplant



Cotinus coggygria
Smokebush



Dietes variegata
African Iris



Encelia californica
California Brittlebush



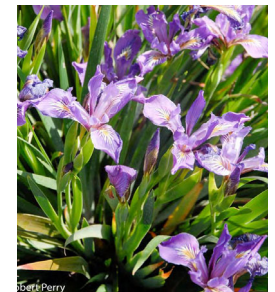
Euonymus japonicus
Japanese Euonymus



Festuca mairei
Atlas Fescue



Hesperaloe parviflora 'Brakelights'
Brakelights Yucca



Iris douglasiana
Douglas iris



Juncus patens
Common Rush



Lantana montevidensis
Trailing Lantana



Lavatera maritima
Mediterranean Tree Mallow



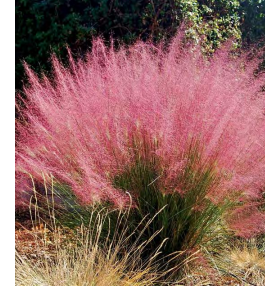
Lavendula angustifolia
English Lavender



Lomandra longifolia
Mat Rush



Mimulus
Monkeyflower



Muhlenbergia capillaris 'pink cloud'
Pink Cloud Muhly Grass



Muhlenbergia dubia
Common Muhly Grass



Myrtus communis
Dwarf Myrtle



Nandina
Heavenly Bamboo



Nepeta x 'Walker's Low'
Catmint



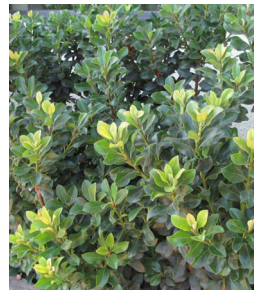
Olea europaea 'Little Ollie'
Dwarf Olive



Russian Sedge
Perovskia



New Zealand Flax
Phormium



Raphiolepis umbellata
Dwarf Yeddo Raphiolepis



Rosemary
Rosemarinus



Salvia
Sage



Santolina
Cotton Lavender



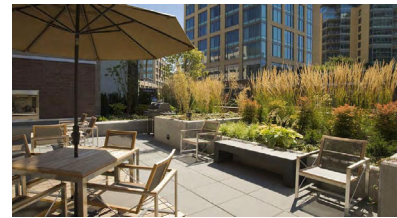
Teucrium fruticans 'Azureum'
Bush Germander



Westringia fruticosa
Coast Rosemary



Zauschneria californica
California Fuchsia



LEGEND

- 1 Outdoor Seating Area
- 2 Pedestrian Concrete Paving
- 3 Covered Outdoor Dining Area with String Lights
- 4 Pedestrian Crossing
- 5 Specimen Tree
- 6 Bioretention Area

KEY MAP



**Campbell
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Park LLC**

Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024



Scale : 1" = 20' - 0"
0' 10' 20' 40'

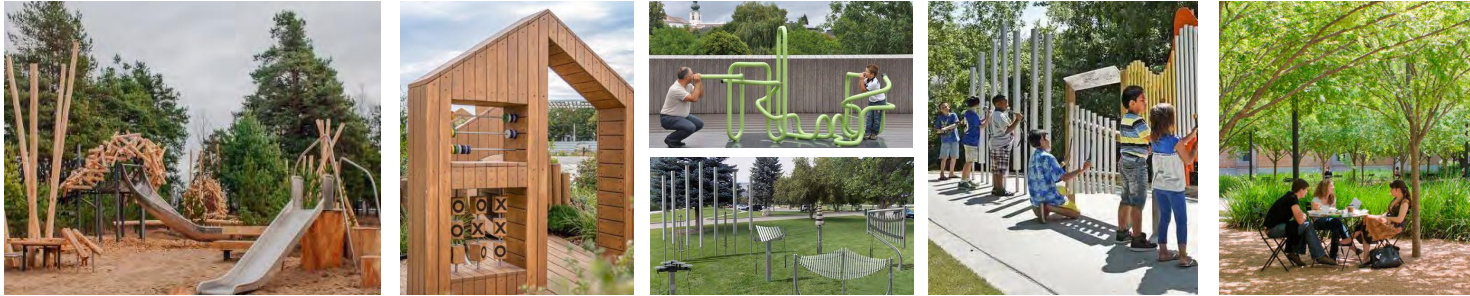
LANDSCAPE ENLARGEMENT

L4.1



- LEGEND**
- 1 Play Area
 - 2 Plaza
 - 3 Pedestrian Concrete Paving
 - 4 Specimen Tree
 - 5 Flowering Tree Alley
 - 6 Bioretention Area
 - 7 Pedestrian Crossing
 - 8 Bench

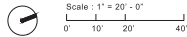
KEY MAP



**Campbell
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Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024



LANDSCAPE ENLARGEMENT

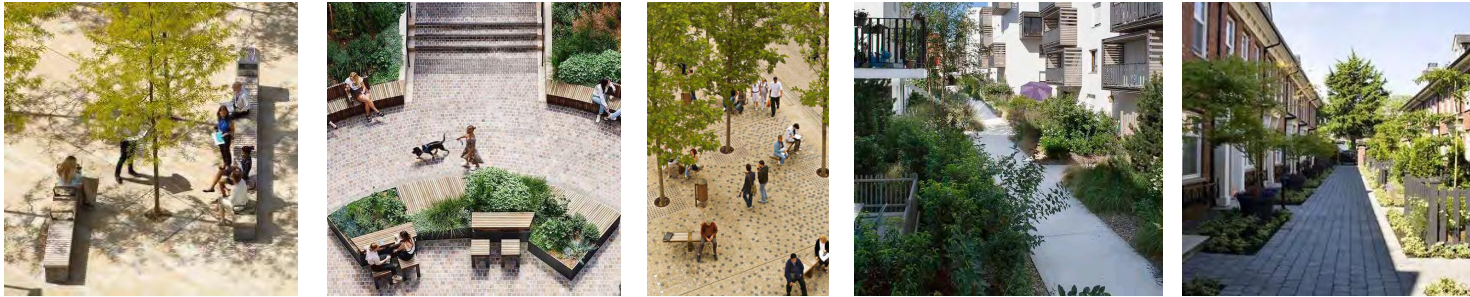
L4.2



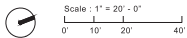
LEGEND

- 1 Linear Pedestrian Spine
- 2 Flowering Tree Alley with Gathering Node
- 3 Bioretention Area
- 4 Street Tree in Tree Grates
- 5 Pedestrian Crossing

KEY MAP



DESIGN REVIEW
JANUARY 16, 2024



LANDSCAPE ENLARGEMENT

L4.3



LEGEND

- 1 Outdoor Library Nook
- 2 Seating Area
- 3 Natural Play Area
- 4 Flowering Tree Alley with Gathering Node
- 5 Pedestrian Concrete Paving
- 6 Pedestrian Crossing
- 7 Bioretention Area

KEY MAP



**Campbell
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Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024



Scale : 1" = 20' - 0"
0' 10' 20' 40'

LANDSCAPE ENLARGEMENT

L4.4



LEGEND

- 1 Entry Plaza
- 2 Game Zone
- 3 Flowering Tree Alley with Gathering Node
- 4 BBQ Area With Shade And String Lights
- 5 Main Street Trees in Tree Grates
- 6 Bench
- 7 Pedestrian Crossing

KEY MAP



**Campbell
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Park LLC**

Campbell Technology Park
Campbell, CA # 2023-0039

DESIGN REVIEW
JANUARY 16, 2024



Scale : 1" = 20' - 0"
0' 10' 20' 40'

LANDSCAPE ENLARGEMENT

L4.5



- LEGEND**
- 1 Bench
 - 2 Plaza
 - 3 Bioretention Area
 - 4 Pedestrian Concrete Paving
 - 5 Existing Trees to Remain

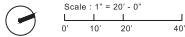
KEY MAP



**Campbell
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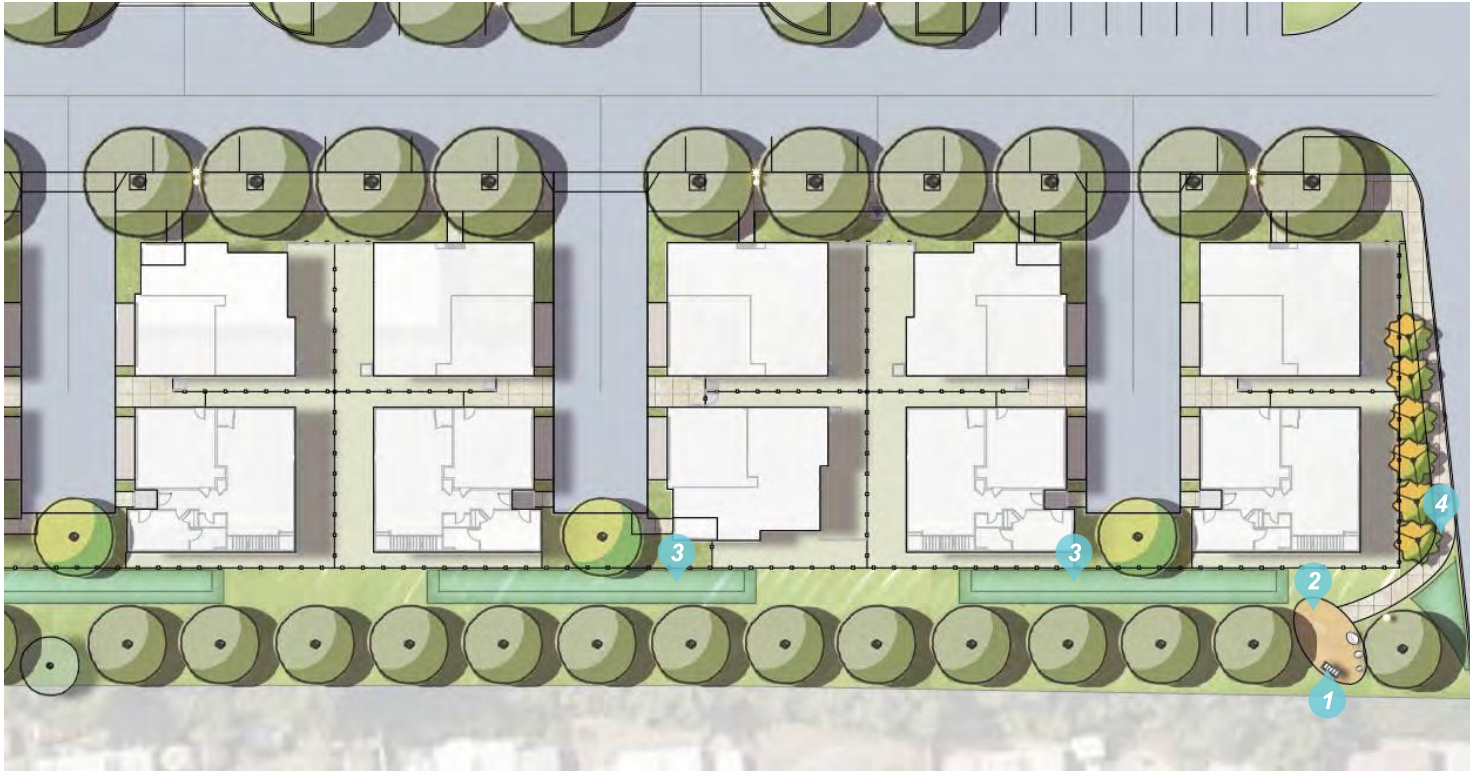
Campbell Technology Park
Campbell, CA # 2023-0039

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JANUARY 16, 2024



LANDSCAPE ENLARGEMENT

L4.6



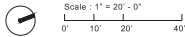
- LEGEND**
- 1 Bench
 - 2 Plaza
 - 3 Bioretention Area
 - 4 Pedestrian Concrete Paving



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DESIGN REVIEW
JANUARY 16, 2024



LANDSCAPE ENLARGEMENT

L4.7

BENCHES



SEAT PADS



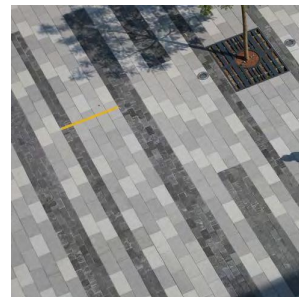
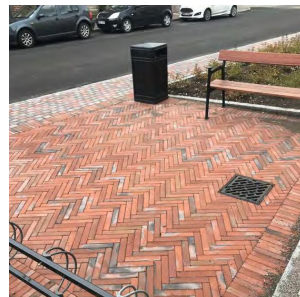
TRASH RECEPTACLE



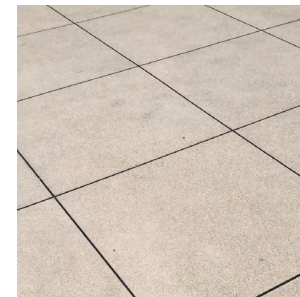
TABLE AND CHAIRS



ACCENT PAVING



CONCRETE PAVING



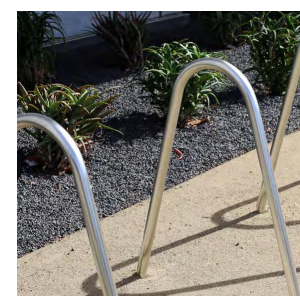
LIGHTING

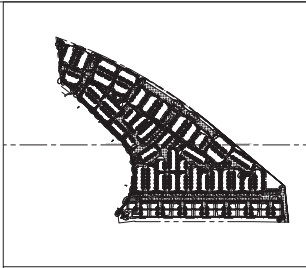


TREE GRATE



BIKE RACK





PLAN VIEW

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	LF	Lum. Lumens
89	1	P1	Single	REGA 7' 24" x 42"	0.850	131
19	12	P2A	Single	GRAND PPT-196L-650-WH-G2-2-100V - ON 14" PSGL	0.850	1775
9	12	P2B	Single	GRAND PPT-196L-650-WH-G2-3-100V - ON 14" PSGL	0.850	3182
5	12	P2C	Single	GRAND PPT-196L-650-WH-G2-5-100V - ON 14" PSGL	0.850	3065
12	12	P3A	Single	GRAND P15-E-A03-730-T2H - ON 20" PSGL	0.850	6192
4	12	P3B	Single	GRAND P15-E-A03-730-T2H - ON 20" PSGL	0.850	4039
2	12	P3C	Single	GRAND P15-E-A03-730-T2H - ON 20" PSGL	0.850	6240
204	1	P4	Single	STORCO LDR7-10-WH-G2-2-8 - 10" W.B.	0.850	1051

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
DRIVE LANE 1	ILLUMINANCE	FC	1.05	3.0	0.1	10.50
DRIVE LANE 2	ILLUMINANCE	FC	1.08	3.3	0.1	10.80
DRIVE LANE 3	ILLUMINANCE	FC	1.31	3.7	0.2	6.55
TOTAL FOOTC	ILLUMINANCE	FC	0.10	2.8	0.05	9.36

Note: Unless otherwise specified - the lamp lumen depreciation (LLD) for legacy sources used in these calculations is based on published mean lumen ratings by major lamp manufacturers. 0.80 LLD for metal halide ballasts, 0.80 LLD for high pressure sodium, 0.80 LLD for linear T8 and T5 fluorescent, 0.80 LLD for compact fluorescent and induction, 0.80 LLD for Cero and E16 lamps, 0.94 LLD for all LED sources. Unless otherwise noted - 0.80 luminaire dirt depreciation (LDD) is commonly applied. In cases where appropriate - ballast factor (BF) is applied. Additional user defined factors (UDF) may be applied if necessary to represent luminaire performance to a higher degree of accuracy. Total light loss factor (LLF) is the product of all multiplied loss factors.

LIGHTING PLAN - PHOTOMETRIC ANALYSIS - LAYOUT VERIFICATION (ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT FINISHED GRADE, U.O.N.)

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www.arlighting.com

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Campbell, CA # 2023-0039

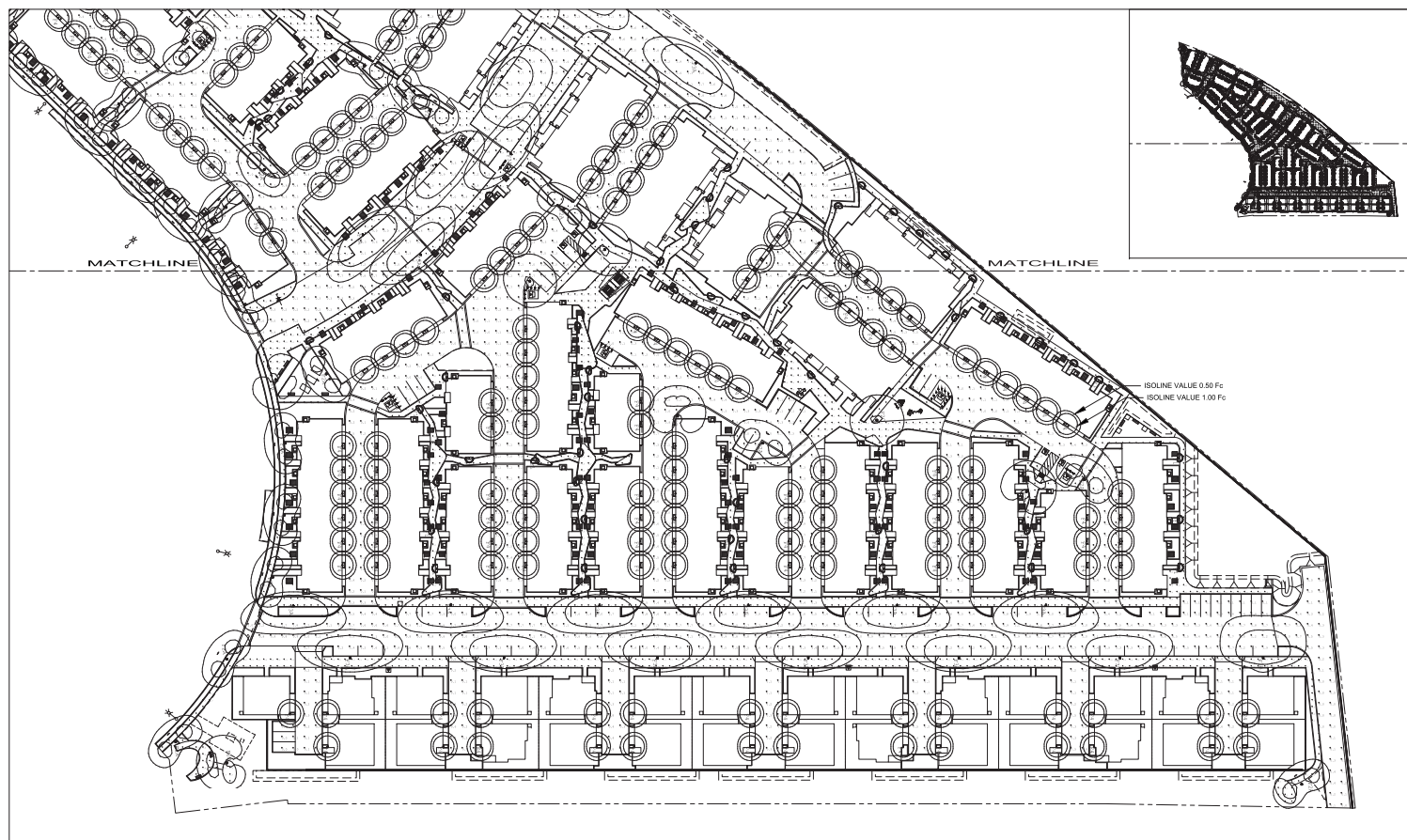
DESIGN REVIEW
JANUARY 16, 2024



Scale : N.T.S

PHOTOMETRIC PLAN

L6.2



SCALE: 1" = 30'-0"

PLAN VIEW

Candidate Schedule									
Cycle	QW	Label	Arrangement	Description	SLF	Ion. Current	Ion. Watts	Th. Watts	Data Source Filename
89	P1	Single	BEGA T7 243-03		0.850	131	0	240	772601_BEGA_1023-03
88	P2A	Single	ORNL PFT-134L-050-06-025-000 - OR 14" POLA		0.850	1775	58	887	PFT-134L-050-06-025-000_L05
79	P2B	Single	PFT-134L-050-06-025-000 - OR 14" POLA		0.850	249	82	1071	PFT-134L-050-06-025-000_L06
5	P2C	Single	PFT-134L-050-06-025-000 - OR 14" POLA		0.850	3065	100	1200	PFT-134L-050-06-025-000_L07
12	F3A	Single	ORNL PIS-014-03-750-070-000 - OR 23" POLA		0.850	6192	144.6	1912	PIS-014-03-750-070-000_L01
1	F3B	Single	PIS-014-03-750-070-000 - OR 23" POLA		0.850	6099	144.6	178.4	PIS-014-03-750-070-000_L02
10	F3C	Single	PIS-014-03-750-070-000 - OR 23" POLA		0.850	6084	144.6	178.4	PIS-014-03-750-070-000_L03
204	P4	Single	STOROS LFW-10-06-025-078 - 10" POLA		0.830	1501	5.7	378.8	LFW-10-06-025-078_L01

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
DRIVE LANE 1	Illuminance	Fc	1.05	3.0	0.1	10.50
DRIVE LANE 2	Illuminance	Fc	1.08	3.3	0.1	10.80
DRIVE LANE 3	Illuminance	Fc	1.31	3.7	0.2	6.55
TYPICAL PASEO	Illuminance	Fc	0.10	2.4	0.0	N/A

Note: Unless otherwise specified - the lamp lumen depreciation (LLD) for legacy sources used in these calculations is based on published mean lumen ratings by major lamp manufacturers: 0.80 LLD for pulse start metal halide; 0.90 LLD for high pressure sodium; 0.95 LLD for T8 and T5 fluorescent; 0.80 LLD for compact fluorescent and incandescent; 0.88 LLD for Cerao and Elite lamps. 0.94 LLD for all LED sources. Unless otherwise noted - 0.90 luminaire dirt depreciation (LDD) is commonly applied. In cases where appropriate - a higher degree (BF) is applied. Additional user defined factors (UDF) may be applied if necessary to represent luminaire performance to a higher degree of accuracy. Total light loss factor (LLF) is the product of all multiplied loss factors.

LIGHTING PLAN - PHOTOMETRIC ANALYSIS - LAYOUT VERIFICATION

(ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT FINISHED GRADE, U.O.N.)

PRELIMINARY - NOT FOR CONSTRUCTION
NOT FOR QUOTING PURPOSES